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THE CAREY SCHOOL ADDITION AND COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS, SAN MATEO, CALIFORNIA 94403

PLANNING APPLICATION SUBMITTAL

PROJECT TEAM

OWNER: **THE CAREY SCHOOL**
ONE CAREY SCHOOL LANE, SAN MATEO, CA 94403 (650) 345-8205

ARCHITECT: **HKIT ARCHITECTS**
538 9TH STREET, SUITE 240, OAKLAND, CA 94607 (510) 625-9800

ELECTRICAL ENGINEER: **BWF CONSULTING ENGINEERS**
220 S. SPRUCE AVENUE, SUITE 203, SOUTH SAN FRANCISCO, CA 94080 (650) 871-0220

CIVIL ENGINEER: **BELLECCI & ASSOCIATES, INC.**
2290 DIAMOND BOULEVARD, SUITE 100, CONCORD CA 94520 (925) 283-4891

LANDSCAPE ARCHITECT: **KELLER MITCHELL & CO.**
302 FOURTH STREET, OAKLAND, CA 94607 (510) 451-9987

PROJECT DESCRIPTION

GENERAL:
REMOVAL OF A 1-STORY PORTION OF THE EXISTING BUILDING WHICH INCLUDES 4-CLASSROOM AND SELECTIVE SITEWORK REMOVAL.
CONSTRUCTION OF A 2-STORY ADDITION TO THE EXISTING BUILDING WHICH INCLUDES 4 CLASSROOMS, SMALL MULTIUSE SPACE AND MEETING ROOMS AND A COURTYARD REMODEL
RELATED SITE AND UTILITY WORK IS ALSO INCLUDED.

REGULATORY REQUIREMENTS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES:
A. 2016 EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE AND CALIFONIA CODE OF REGULATIONS, TITLE 24
PART 1: 2016 CALIFORNIA ADMINISTRATIVE CODE
PART 2: 2016 CALIFORNIA BUILDING CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE - IBC
PART 3: 2016 ELECTRICAL CODE (BASED ON THE 2015 NATIONAL ELECTRICAL CODE - NEC
PART 4: 2016 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 UNIFORM MECHANICAL CODE - UMC)
PART 5: 2016 CALIFORNIA PLUMBING CODE (BASED ON THE 2015 UNIFORM PLUMBING CODE - UPC)
PART 6: 2016 CALIFORNIA ENERGY CODE (SAME AS THE CURRENT 2008 CALIFORNIA ENERGY CODE)
PART 7: (NO LONGER PUBLISHED IN TITLE 24. SEE TITLE 8, CCR)
PART 8: 2016 CALIFORNIA HISTORICAL BUILDING CODE
PART 9: 2016 CALIFORNIA FIRE CODE
PART 10: CALIFORNIA EXISTING BUILDING CODE
PART 11: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
PART 12: 2016 CALIFORNIA REFERENCED STANDARDS CODE

B. CITY OF SAN MATEO ORDINANCES AND ZONING CODES
C. SAN MATEO COUNTY CODES AND REGULATIONS (WHERE APPLY)

PARKING SUMMARY - CARS

STAFF PARKING REQUIREMENTS:
1 PARKING SPACE PER EMPLOYEE
47 CURRENT EMPLOYEES + 5 NEW EMPLOYEES = 52 PARKING SPACES MINIMUM REQUIRED

ON-SITE PARKING SUMMARY (NO CHANGES FROM EXISTING)
18 (E) STANDARD SPACES
7 (E) COMPACT SPACES
1 (E) ACCESSIBLE SPACE
1 (E) VAN ACCESSIBLE SPACE

27 (E) TOTAL ON-SITE PARKING SPACES +

OFF-SITE PARKING (NO CHANGES FROM EXISTING)
30 PARKING SPACES FOR STAFF AT 1900-2000 ALAMEDA DE LAS PULGAS
150 PARKING SPACES FOR EVENTS 1900-2000 ALAMEDA DE LAS PULGAS

30 (E) PARKING SPACES FOR STAFF AT 1900-2000 ALAMEDA DE LAS PULGAS
= 57 EXISTING PARKING SPACES PROVIDED

PARKING SUMMARY - BIKES

SHORT TERM BIKE PARKING
258 STUDENTS / 20 = 13 SPACES REQUIRED

15 EXISTING SPACES PROVIDED

LONG TERM BIKE PARKING
52 STAFF / 10 = 5 SPACES REQUIRED

5 EXISTING WALL MOUNTED SPACES PROVIDED AT THE LOWER LEVEL IN STORAGE ROOM A007

VICINITY MAP
1" = 200'-0"

PROJECT SITE:
2103 ALAMEDA DEL LAS PULGAS

CODE AND AREA ANALYSIS

ZONING:			
Existing		R1-B	
Proposed		R1-B/Q8	
"SPECIAL USE" PERMIT FOR SCHOOL			
APN'S:		039-040160	
		039-040150	
SITE AREA:		96,040 S.F.	
EXISTING F.A.R. ALLOWABLE PER ZONING			
	50% FOR FIRST 6,000 SF	3,000 S.F.	
	20% FOR REMAINING 90,040 SF	18,008 S.F.	
	MAX ALLOWABLE AREA PER F.A.R.	21,008 S.F.	
EXISTING ACTUAL FAR			
	29,952/96,040 = 0.31 FAR	0.31 FAR	
PROPOSED FAR	37,455.6/96040 = 0.39 FAR	0.39 FAR	
EXISTING BUILDING GROSS AREA (PER ZONING CODE):			
LOWER LEVEL AREA (BASEMENT)			
	Building 1 Part A	4,580 S.F.	
	subtotal lower level:	4,580 S.F.	
COURTYARD LEVEL AREA (FIRST FLOOR)			
	Building 1 Part A (to be removed)	**2,760 S.F.**	
	Building 1 Part A	7,147 S.F.	
	Building 1 Part A (DOUBLE HT. AREA)	2,590 S.F.	ADDITIONAL S.F. AREA FOR DOUBLE HEIGHT MULTIUSE
	Building 1 Part B	2,578 S.F.	
	Building 1 Part C	1,884 S.F.	
	subtotal courtyard level:	16,959 S.F.	
UPPER LEVEL AREA (SECOND FLOOR)			
	Building 1 Part A	2,180 S.F.	
	Building 1 Part B	2,325 S.F.	
	Building 1 Part C	1,788 S.F.	
	subtotal upper level:	6,293 S.F.	
MISC SITE	(E) Shade at Amphetheater	1,000 S.F.	
	(E) Shipping Containers	1,000 S.F.	
	(E) Storage Shed	120 S.F.	
		2,120 S.F.	
EXISTING GROSS BUILDING AREA (+/-)		29,952 S.F.	
AMOUNT THAT EXCEEDS ALLOWABLE ZONING AREA		8,944 S.F.	
PROPOSED BUILDING GROSS AREA (PER ZONING CODE)			
LOWER LEVEL AREA (BASEMENT)			
	Building 1 Part A	4,580 S.F.	
	subtotal lower level:	4,580 S.F.	
COURTYARD LEVEL AREA (FIRST FLOOR)			
	Building 1 Part A (NEW)	**3,693 S.F.**	INCLUDING PORTION OF ROOF OVERHANG
	Building 1 Part A (E)	7,147 S.F.	
	Building 1 Part A (DOUBLE HT. AREA)	2,590 S.F.	ADDITIONAL S.F. AREA FOR DOUBLE HEIGHT (E) MULTIUSE
	Building 1 Part B (E)	2,578 S.F.	
	Building 1 Part C (E)	1,884 S.F.	
	subtotal courtyard level:	17,892 S.F.	
UPPER LEVEL AREA (SECOND FLOOR)			
	Building 1 Part A (NEW)	**2,313 S.F.**	INCLUDING PORTION OF ROOF OVERHANG
	Building 1 Part A	2,180 S.F.	
	Building 1 Part B	2,325 S.F.	
	Building 1 Part C	1,788 S.F.	
	subtotal upper level:	8,606 S.F.	
TEMPORARY PORTABLE CLASSROOMS			
	PORTABLE 1	960 S.F.	
	Portion of portable 1 overhang	60 S.F.	
	PORTABLE 2	960 S.F.	
	Portion of portable 2 overhang	60 S.F.	
		2,040 S.F.	
MISC SITE	(E) Shipping Containers	1,000 S.F.	
	(E) Storage Sheds	120 S.F.	
	Miscelaneous/ Future (TBD)	3,217.6 S.F.	
		4,338 S.F.	
PROPOSED GROSS BUILDING AREA (.39 FAR)		**37,455.6 S.F.**	
ADDED GROSS BUILDING AREA (PER ZONING CODE)		**7,503.6 S.F.**	
TOTAL AREA OF ADDITION (PER ZONING CODE)		6,006 S.F.	
TOTAL AREA OVER ALLOWABLE AREA NEEDING APPROVAL		**16,447.6 S.F.**	
OCCUPANCY:		E A-3	
PROPOSED CONSTRUCTION TYPE (CURRECT CODE):		V-A	
	WOOD FRAMED EXTERIOR WALLS (TYPICAL), AND SHEAR WALLS		
	WOOD FRAMED INTERIOR WALLS (TYPICAL)		
	WOOD FRAMED FLOOR AND ROOF		
	CONC O/ STEEL BALCONY		
EXISTING CONSTRUCTION TYPE			
	(E) BUILDING 1A	V-A	
	(E) BUILDING 1B	V-A	
	(E) BUILDING 1C	V-A	
FIRE SPRINKLERS			
	BUILDING 1A (NEW PORTION)	**PROVIDE FULLY SPRINKLERED -INCLUDING CRAWL SPACES**	
	(E) BUILDING 1A	FULLY SPRINKLERED -INCLUDING CRAWL SPACES	
	(E) BUILDING 1B	EXISTING FULLY SPRINKLERED	
	(E) BUILDING 1C	EXISTING FULLY SPRINKLERED	
MAX HEIGHT PERMITTED (ZONING):		24 FEET	TO TOP PLATE
MAX HEIGHT PERMITTED (ZONING):		32 FEET	TO TOP RIDGE
FRONT YARD SETBACK (CODE REQUIRED)		15 FEET	
SIDE YARD SETBACK (CODE REQUIRED)		5 FEET	
REAR YARD SETBACKS (CODE REQUIRED)		15 FEET	FIRST STORY
		25 FEET	SECOND STORY
CUBIC YARDS OF SOIL DISTURBANCE:		300 CU YD	

SHEET INDEX

ARCHITECTURAL -PLANNING SUBMITTAL

A00-01A COVER SHEET, SHEET INDEX, CODE ANALYSIS
A00-03 BASEMENT AND 1ST FLOOR CODE + EXITING PLANS, CBC AREA ANALYSIS AND PUMBING FIXTURE COUNT
A00-04 2ND FLOOR CODE + EXITING PLANS, FRONTAGE ANALYSIS PLAN AND CALCS, 150-FOOT FIREHOSE REACH DIAGRAM
A00-05 FIRST AND SECOND FLOOR AREA PLAN
A01-01 EXISTING SITE REMOVAL PLAN
A01-02 OVERALL SITE PLAN
A01-03 ENLARGED SITE PLAN
A01-04 CANOPY PLANS AND ELEVATIONS
A02-01 (E) LOWER LEVEL/ CRAWL SPACE PLAN
A02-02 FIRST FLOOR PLAN
A02-03 SECOND FLOOR PLAN
A02-04 ROOF PLAN
A03-01A SOUTH AND EAST EXTERIOR COLOR ELEVATIONS
A03-02A NORTH AND WEST EXTERIOR COLOR ELEVATIONS
A03-03A FOR REFERENCE ONLY - TEMPORARY PORTABLE CLASSROOM EXTERIOR ELEVATIONS
A03-04 BUILDING SECTIONS
A05-01A COURTYARD RENDERING
A05-02A VIEW FROM NORTH RENDERING

ELECTRICAL

E01-01 ELECTRICAL LEGEND, FIXTURE SCHEDULE AND DETAILS
E01-02 ELECTRICAL SITE PLAN AND PHOTOMETRIC STUDY
E03-02 ELECTRICAL FIRST FLOOR LIGHTING
E03-03 ELECTRICAL SECOND FLOOR LIGHTING
E1.0B EXISTING 2013 ELECTRICAL PHOTMETRIC PLAN - FOR REFERENCE ONLY

CIVIL SURVEY

1 TOPOGRAPHIC SURVEY

CIVIL

C1.1 DEMOLITION PLAN
C2.1 GRADING PLAN
C3.1 UTILITY PLAN
C4.1 IMPERVIOUS AREA PLAN

LANDSCAPE

L00.01 OVERALL LANDSCAPE SITE PLAN
L01.01 PROPOSED LANDSCAPE SITE PLAN
L02.01 PROPOSED PLANTING PLAN
L03.01 PROPOSED LANDSCAPE MATERIALS IMAGES

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538 NINTH STREET SUITE 240 • OAKLAND, CA 94607
T 510 625 9800 • F 510 625 9801 • WWW.HKIT.COM

LICENSED ARCHITECT
DARA A. YOUNGDALE
No. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

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SAN MATEO, CA 94403

JOB NO. 10232
DRAWN ASM/ JAS
CHECKED -
JOB CAPTAIN JAS

ISSUE

△	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2

DRAWING TITLE
COVER SHEET, SHEET INDEX, CODE ANALYSIS

SCALE As indicated

A00-01A

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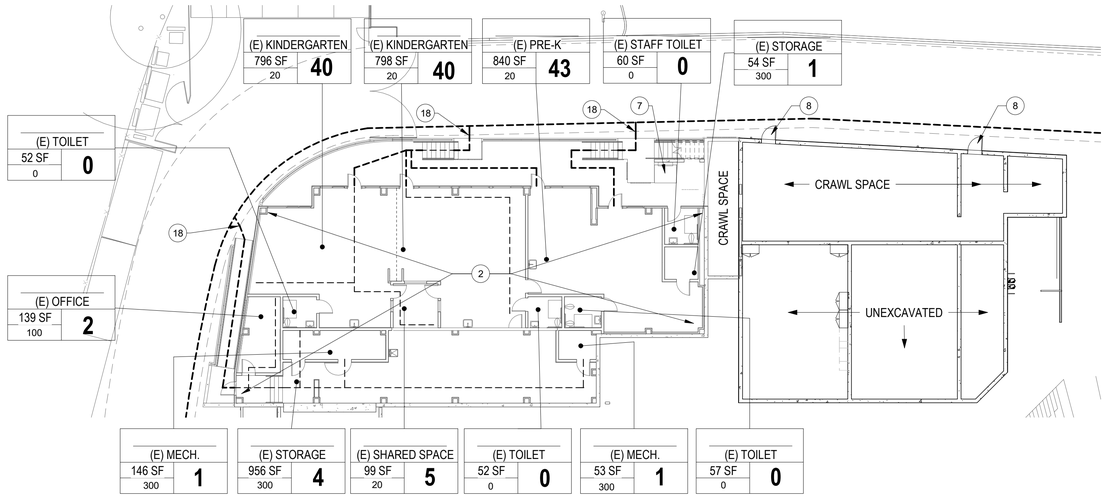
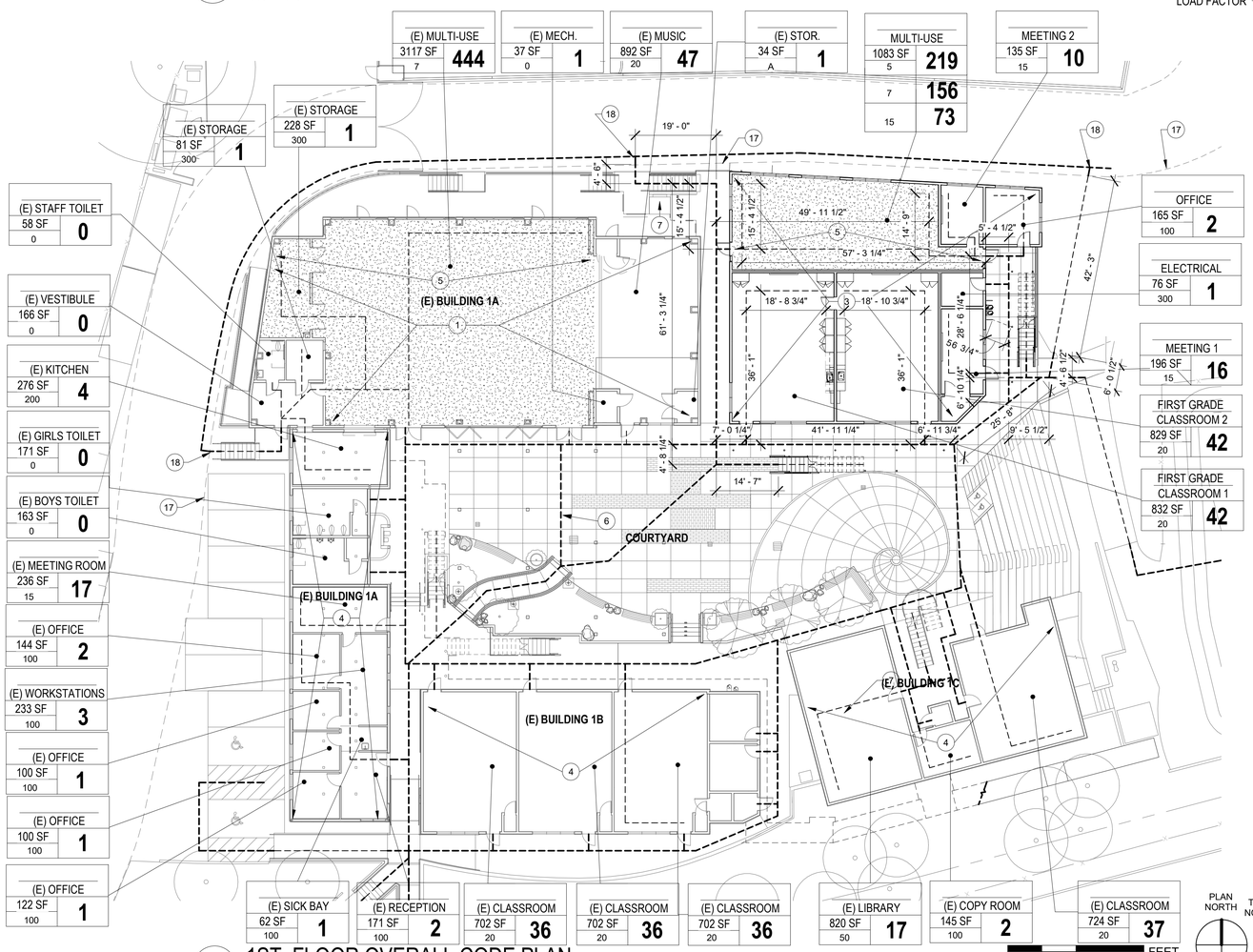


3 BASEMENT OVERALL CODE PLAN
1/16" = 1'-0"



1 1ST. FLOOR OVERALL CODE PLAN
1/16" = 1'-0"

CODE AND EXITING PLANS GENERAL NOTES

A. ALL AREAS OF THE SCHOOL ARE "E" OCUPANCY EXCEPT THE MULTI-USE SPACES AND RELATED STORAGE WHERE INDICATED ON THE PLANS.
B. GRADE PLANE IS AT ELEVATION 83.81 FEET.
C. SEE SITE PLAN SHEETS A01-01 AND A01-02 FOR ADDITIONAL SITE INFORMATION.
D. SEE COVER SHEET FOR GOVERNING CODES
E. SECOND FL. AREA IS LESS THAN 3000 S.F. - LIFT IS NOT REQUIRED PER CBC 11B 206.2.3.

SHEET NOTES - CODE AND EXITING PLANS

1. PORTION OF BUILDING IS ONE STORY ABOVE GRADE PLANE
2. PORTION OF BUILDING (BASEMENT) IS A STORY BELOW GRADE PLANE
3. PORTION OF BUILDING IS TWO STORIES ABOVE GRADE PLANE
4. PORTION OF BUILDING IS AN EXISTING TWO STORY-BUILDING ABOVE GRADE PLANE
5. A3 OCCUPANCY (SHOWN TONED)
6. ACCESSIBLE PATH OF TRAVEL
7. (E) WHEELCHAIR LIFT
8. CRAWL SPACE ACCESS HATCHES
9. CEILING IS AT 15'-0" ABOVE FIRST FLOOR (AREA ONLY COUNTED ONCE)
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11. BALCONY AND 2 STAIRS (2 EXITS) MEETS REQUIREMENT OF CBC 452.1.4 EXCEPTION 2
12. EXIT STAIR 44" WIDE. MAX STAIR RISE 12'-0" WITHOUT AN INTERMEDIATE LANDING
13. EXISTING EGRESS BALCONY
14. EGRESS BALCONY
15. EGRESS RAMP
16. (E) FIRELANE AT LEVEL BELOW
17. (E) FIRELANE
18. (E) FIRELANE ACCESS POINT FOR REFERENCED LEVEL

LEGEND

"A3" OCCUPANCY
"E" OCCUPANCY
EXTERIOR ACCESSIBLE PATH OF TRAVEL ALONG EGRESS PATH
EXTERIOR EXISTING EGRESS PATH AT STAIRS OR NON-CONFORMING ON GRADE AS NOTED
INTERIOR EGRESS PATH

NET AREA — - — ROOM DESCRIPTION
OCCUPANT LOAD FACTOR — 0 SF / 0 — 0 — NUMBER OF OCCUPANTS

PLUMBING FIXTURE COUNT

Carey School		WC	WC	Urinal	Drinking Fountain	WC	WC	Urinal	Drinking Fountain
		Male	Female			Male	Female		
		1 per 50	1 per 30	1 per 100	1 per 150	1 per 50	1 per 30	1 per 100	1 per 150
Occupant load factor 50									
271	Students				2				2
135.5	Male	3		2		4		2	
135.5	Female		5				6		
33	Staff			1	1				1
16.5	Male	1				2		1	
16.5	Female		1				2		
		REQUIRED				PROVIDED			

CBC Allowable Area Analysis

Existing Building Construction Type V-A Fully Sprinklered
Proposed Addition Construction Type V-A Fully Sprinklered

Table 504.3 Allowable Building Height
A,E 70 feet (S without Area increase) Zoning more restrictive

Table 504.4 Allowable number of Stories
S 3 stories (without Area increase)
Actual 2 stories (Actual number of stories)

Table 506.2 Allowable Area Factor
A3 = SM 34,500 S.F. (without Height Increase)
E = SM 55,500 S.F. (without Height Increase)

use Use A3 34,500 S.F. Most Restrictive per 508.3.1

506.2.4 MIXED OCCUPANCY, MULTISTOREY

Aa= [A1 + (NS X If)]
A1 34,500
NS 11,500
If 0.53 (From Frontage Analysis on sheet A00-04)

34,500 + (11,500 X 0.53)
Aa= **40,595 S.F. PER STORY**

506.2.4 "aggregate sum of the ratios of the actual building area divided by the allowable area of such stories"

First Floor (LARGEST FLOOR)
(A3 = 7332) / 40,595 PLUS (E = 10,544) / 40,595

0.18 PLUS 0.26 EQUALS 0.44 (LESS THAT 2 = OK)

508.3 Non separated occupancies
Table 508.4
A,E to A,E S / N No separation reqirement

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DRAWING TITLE

BASEMENT AND 1ST FLOOR CODE AND EXITING PLANS, CBC AREA ANALYSIS AND PLUMBING FIXTURE COUNT

SCALE As indicated

A00-03

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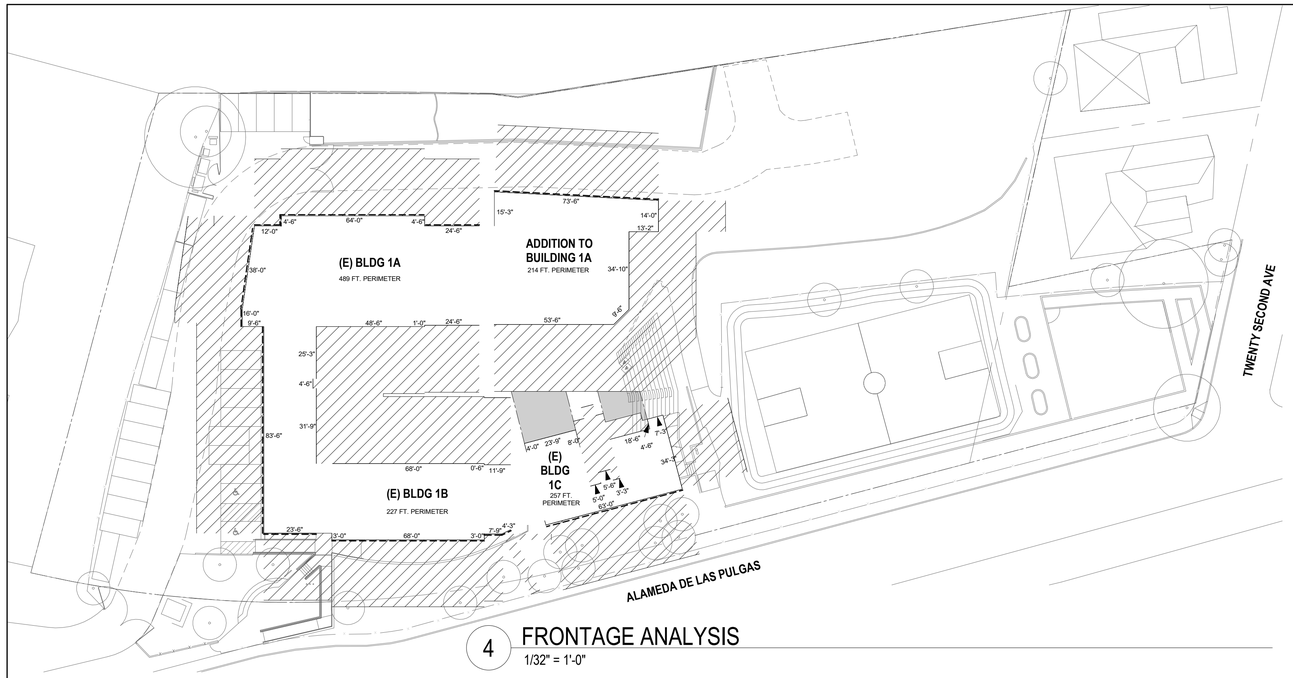
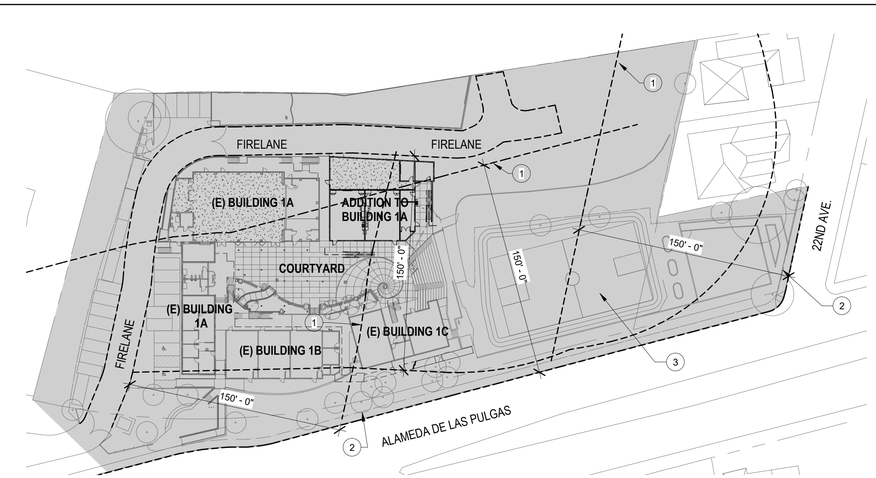


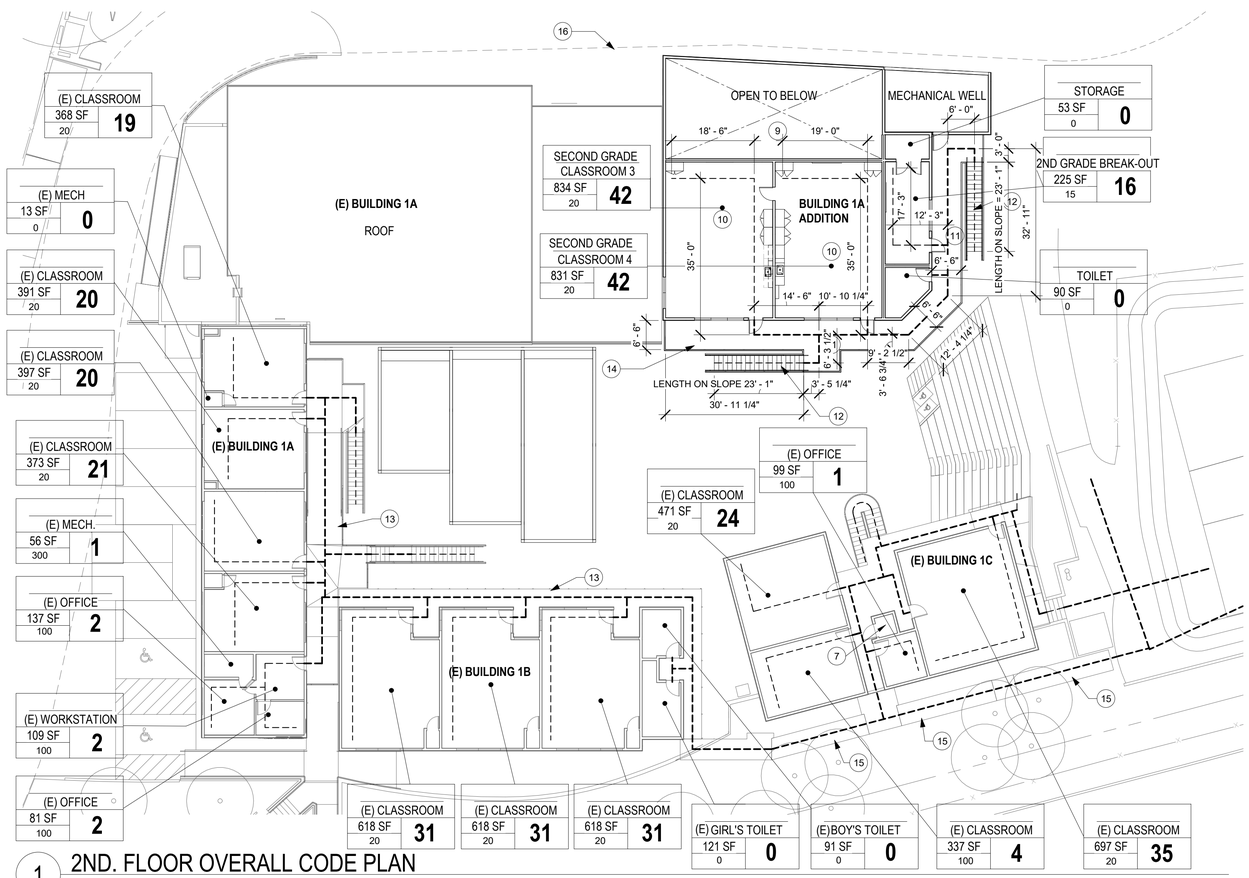
4 FRONTAGE ANALYSIS
1/32" = 1'-0"



NOTES - FIRE HOSE REACH DIAGIRAM

1. 150 - FOOT FIREHOSE REACH FROM PUBLIC WAY OR DEDICATED FIRELANE
2. EMERGENCY ACCESS GATE LOCATION
3. TONNED AREA INDICATED FIRE HOSE COVERAGE (WHOLE SITE)

5 1ST. FLOOR OVERALL 150 FOOT FIREHOSE REACH
1" = 50'-0"



1 2ND. FLOOR OVERALL CODE PLAN
1/16" = 1'-0"

NOTE: FOR ALLOWABLE AREA CALCULATIONS SEE SHEET A00-03

FRONTAGE INCREASE

If = (F/P - 0.25)xW/30

F=	952	LF	CBC SECTION 506.2 sides fronting on public way or open space over 20'
P=	1187	LF	total perimeter
W	29.75	LF	weighted average

w= length	x distance		Building perimeter on public way or open space
12	30	360	
4.6	30	138	
64	30	1920	
4.5	30	135	
24.5	30	735	
15.25	30	457.5	
73.5	30	2205	
14	30	420	
13.25	30	397.5	
34.75	30	1042.5	
9.5	30	285	
53.5	30	1605	
24.5	30	735	
1	30	30	
48.5	30	1455	
25.25	30	757.5	
4.5	30	135	
31.75	30	952.5	
68	30	2040	
11.75	30	352.5	
5	30	150	
5.5	30	165	
3.25	30	97.5	
34.25	30	1027.5	
63	30	1890	
4.25	30	127.5	
7.75	30	232.5	
3	30	90	
68	30	2040	73.5
3	30	90	24.5
23.5	30	705	4.5
83.5	30	2505	64
9.5	30	285	4.5
16	30	480	12
38	30	1140	38
4.75	30	142.5	16
8.5	30	255	83.5
1.5	30	45	23.5
1	25	25	3
2.5	25	62.5	68
2.5	25	62.5	3
2.5	25	62.5	7.75
15.25	22	335.5	4.25
7.5	21	157.5	63
952.1		28331	487
w=		29.75633	
If=		((952/1187)-.25)(.2976/30)	487/1187 total peri
		0.53	0.41 41%

3 FRONTAGE CALCULATIONS
1/32" = 1'-0"

CODE AND EXITING PLANS GENERAL NOTES

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B. GRADE PLANE IS AT ELEVATION 83.81 FEET.
C. SEE SITE PLAN SHEETS A01-01 AND A01-02 FOR ADDITIONAL SITE INFORMATION.
D. SEE COVER SHEET FOR GOVERNING CODES
E. SECOND FL. AREA IS LESS THAN 3000 S.F. - LIFT IS NOT REQUIRED PER CBC 11B 206.2.3.

SHEET NOTES - CODE AND EXITING PLANS

1. PORTION OF BUILDING IS ONE STORY ABOVE GRADE PLANE
2. PORTION OF BUILDING (BASEMENT) IS A STORY BELOW GRADE PLANE
3. PORTION OF BUILDING IS TWO STORIES ABOVE GRADE PLANE
4. PORTION OF BUILDING IS AN EXISTING TWO STORY-BUILDING ABOVE GRADE PLANE
5. A3 OCCUPANCY (SHOWN TONED)
6. ACCESSIBLE PATH OF TRAVEL
7. (E) WHEELCHAIR LIFT
8. CRAWL SPACE ACCESS HATCHES
9. CEILING IS AT 15'-0" ABOVE FIRST FLOOR (AREA ONLY COUNTED ONCE)
10. OCCUPANT LOAD IS LESS THAN 49 PER TABLE 1006.2.1 - ONLY ONE EXIT DOOR IS REQUIRED
11. BALCONY AND 2 STAIRS (2 EXITS) MEETS REQUIREMENT OF CBC 452.1.4 EXCEPTION 2
12. EXIT STAIR 44" WIDE. MAX STAIR RISE 12'-0" WITHOUT AN INTERMEDIATE LANDING
13. EXISTING EGRESS BALCONY
14. EGRESS BALCONY
15. EGRESS RAMP
16. (E) FIRELANE AT LEVEL BELOW

LEGEND

"A3" OCCUPANCY

"E" OCCUPANCY

EXTERIOR ACCESSIBLE PATH OF TRAVEL ALONG EGRESS PATH

EXTERIOR EXISTING EGRESS PATH AT STAIRS OR NON-CONFORMING ON GRADE AS NOTED

NET AREA - ROOM DESCRIPTION

OCCUPANT LOAD FACTOR 0 SF / 0 — NUMBER OF OCCUPANTS

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	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2

DRAWING TITLE

2ND FLOOR CODE AND EXITING PLANS, FRONTAGE ANALYSIS PLAN AND CALCS, 150-FOOT FIREHOSE REACH DIAGRAM

SCALE As indicated

A00-04

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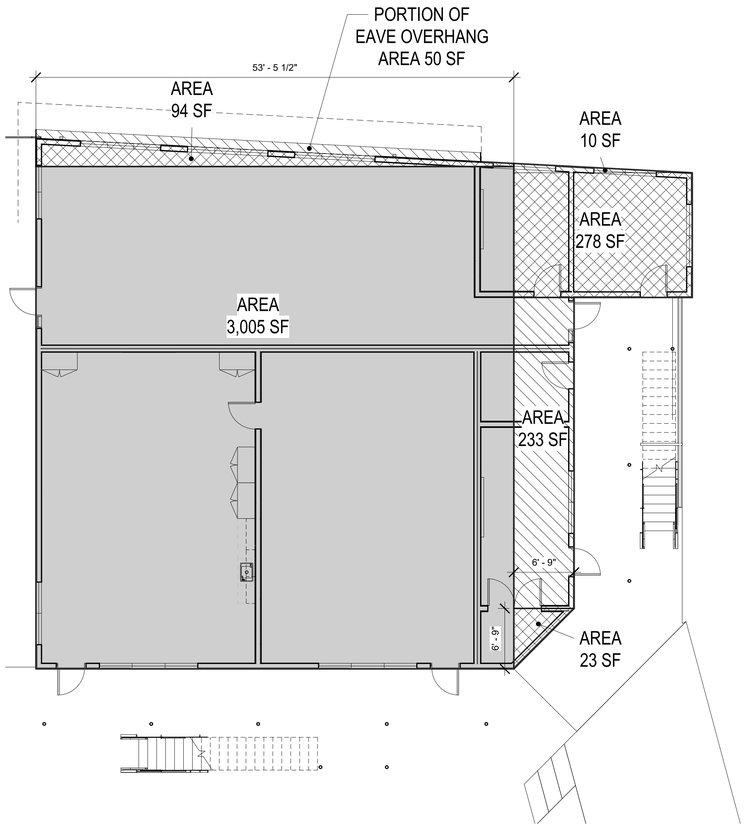
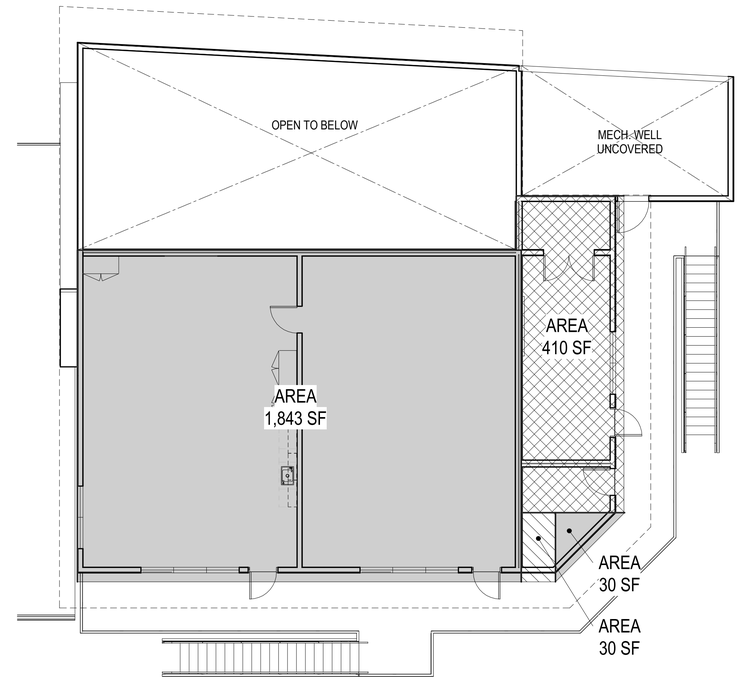


1 FIRST FLOOR AREA PLAN
1/8" = 1'-0"



2 SECOND FLOOR AREA PLAN
1/8" = 1'-0"

GENERAL NOTES

REFERENCE PLAN - AREA PLAN IS FOR GROSS BUILDING AREA CALCULATION INFORMATION ONLY

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LICENSED ARCHITECT
DARA A. YOUNGDALE
LIC. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	JAS/ ASM
CHECKED	-
JOB CAPTAIN	JAS

ISSUE

△	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2

DRAWING TITLE

FIRST AND SECOND FLOOR AREA PLAN

SCALE 1/8" = 1'-0"

A00-05

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EXISTING PARKING LEGEND

ON-SITE PARKING LEGEND (NO CHANGES FROM EXISTING)

P1	(E) STANDARD 8'-6" X 18'-0" SPACE
P2	(E) COMPACT 8'-0" X 17'-0" SPACE
P3	(E) 5'-0" X 18'-0" WALKING AISLE
P4	(E) 8'-0" X 18'-0" WALKING AISLE
P5	(E) 9'-0" X 18'-0" ACCESSIBLE SPACE
P6	(E) 9'-0" X 18'-0" VAN ACCESSIBLE SPACE
P7	(E) STANDARD 8'-0" X 18'-0" PARALLEL SPACE
P8	(E) STANDARD 8'-6" X 18'-0" SPACE

GENERAL NOTES - REMOVAL SITE PLAN

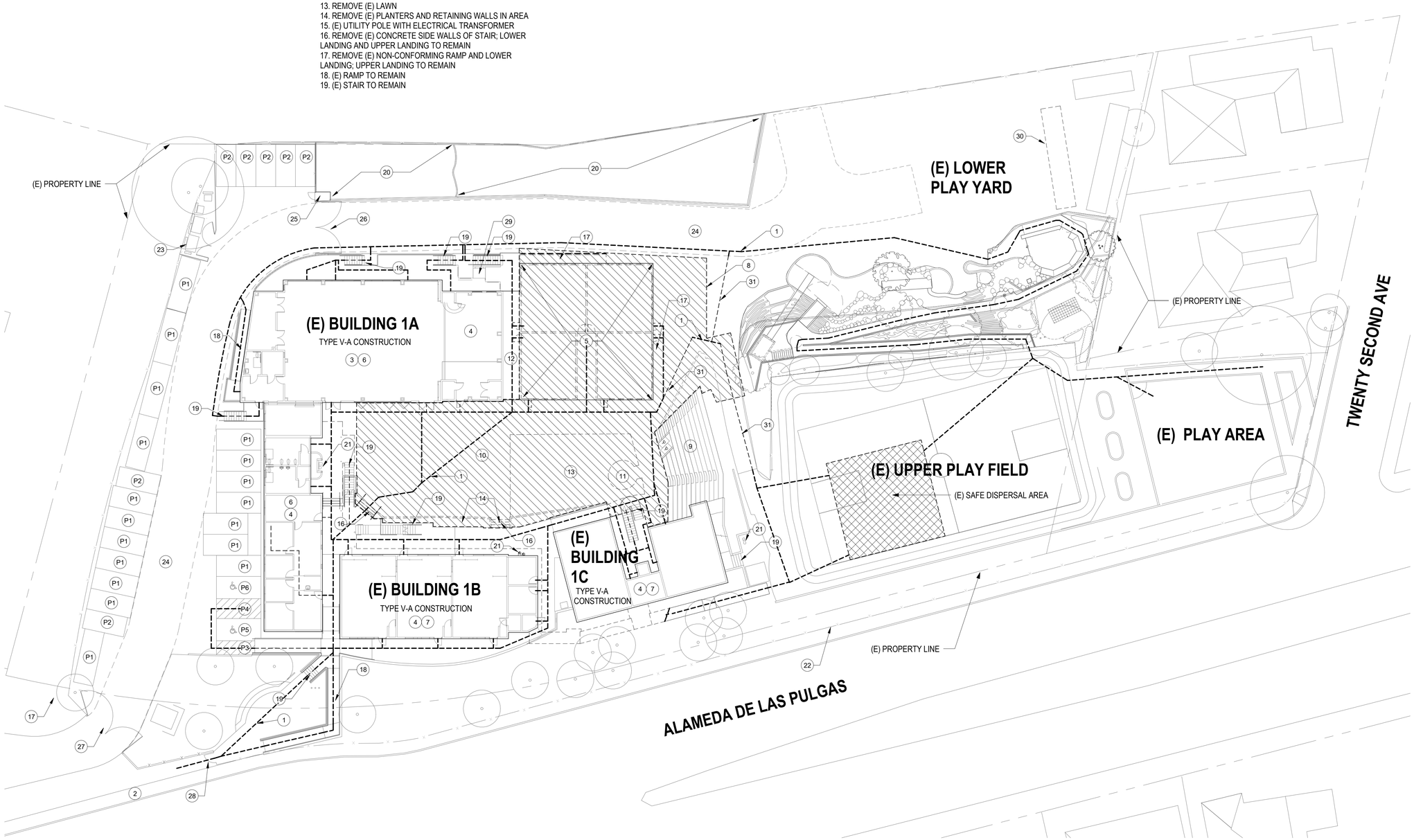
1. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL REMOVAL WORK NOTES AND INFORMATION
2. SEE COVER SHEET FOR PARKING SUMMARY

SHEET NOTES

1. ACCESSIBLE PATH OF TRAVEL
2. (E) DROP-OFF ALONG ALAMEDA DE LA PULGAS
3. EXISTING "A3" OCCUPANCY
4. EXISTING "E" OCCUPANCY
5. REMOVE (E) PORTION OF BUILDING "1A"
6. (E) PORTION OF BUILDING 1A TO REMAIN
7. (E) BUILDING TO REMAIN
8. APPROXIMATE AREA OF REMODEL AND SITE WORK
9. (E) COURTYARD TIERED SEATING
10. (E) COURTYARD - REMOVAL AS NOTED
11. REMOVE WOOD BENCHES + PLANTING AREA + CONCRETE CURB IN ITS ENTIRETY AT THE MEMORIAL CIRCLE
12. REMOVE ASPHALT PAVING IN (E) WALKWAY AS REQUIRED FOR CONSTRUCTION
13. REMOVE (E) LAWN
14. REMOVE (E) PLANTERS AND RETAINING WALLS IN AREA
15. (E) UTILITY POLE WITH ELECTRICAL TRANSFORMER
16. REMOVE (E) CONCRETE SIDE WALLS OF STAIR; LOWER LANDING AND UPPER LANDING TO REMAIN
17. REMOVE (E) NON-CONFORMING RAMP AND LOWER LANDING; UPPER LANDING TO REMAIN
18. (E) RAMP TO REMAIN
19. (E) STAIR TO REMAIN
20. (E) PLAY AREAS TO REMAIN
21. (E) DRINKING FOUNTAIN TO REMAIN
22. (E) CHAINLINK PERIMETER FENCING TO REMAIN
23. (E) TRASH ENCLOSURE TO REMAIN
24. (E) 20'-0" WIDE FIRE LANE
25. (E) PERSONEL GATE
26. (E) DRIVEWAY GATE
27. (E) MAIN DRIVEWAY GATE
28. (E) MAIN PEDESTRIAN ENTRY GATE (5'-0" WIDE OPENING)
29. (E) WHEELCHAIR LIFT TO REMAIN
30. (E) SHIPPING CONTAINER TO BE REMOVED
31. EXISTING NON-CONFORMING PATH OF TRAVEL, STEEPER THAN 1:20 SLOPE

LEGEND

- AREA OF REMOVAL WORK
- EXTERIOR ACCESSIBLE PATH OF TRAVEL ALONG EGRESS PATH
- EXTERIOR EXISTING EGRESS PATH AT STAIRS OR NON-CONFORMING ON GRADE AS NOTED
- (E) FENCE AROUND CAMPUS



1 EXISTING SITE REMOVAL PLAN
1" = 20'-0"

0 4 8 16 FEET

TRUE NORTH

PLAN NORTH

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LICENSED ARCHITECT
DARA A. YOUNGDALE
REG. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	ASM/ JAS
CHECKED	-
JOB CAPTAIN	JAS

ISSUE

	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2

DRAWING TITLE

EXISTING SITE REMOVAL PLAN

SCALE As indicated

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EXISTING PARKING LEGEND

ON-SITE PARKING LEGEND (NO CHANGES FROM EXISTING)

P1	(E) STANDARD 8'-6" X 18'-0" SPACE
P2	(E) COMPACT 8'-0" X 17'-0" SPACE
P3	(E) 5'-0" X 18'-0" WALKING AISLE
P4	(E) 8'-0" X 18'-0" WALKING AISLE
P5	(E) 9'-0" X 18'-0" ACCESSIBLE SPACE
P6	(E) 9'-0" X 18'-0" VAN ACCESSIBLE SPACE
P7	(E) STANDARD 8'-0" X 18'-0" PARALLEL SPACE
P8	(E) STANDARD 8'-6" X 18'-0" SPACE

GENERAL NOTES - SITE PLAN

A. SEE FLOOR PLANS FOR ADDITIONAL DETAILED NOTES AND INFORMATION
B. FOR TREE LEGEND SEE SHEET A1.1
C. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS, SEE MECHANICAL DRAWINGS, SEE PLUMBING DRAWINGS, SEE ELECTRICAL DRAWINGS, SEE CIVIL DRAWINGS, SEE LANDSCAPE DRAWINGS.

SHEET NOTES - SITE PLAN

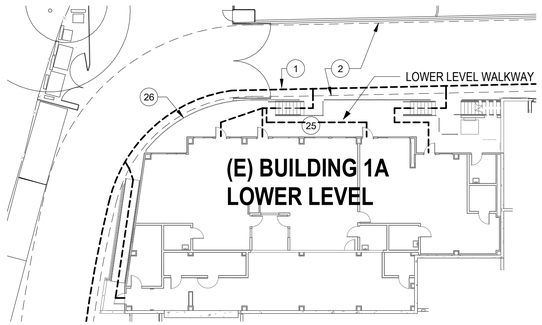
1. ACCESSIBLE PATH OF TRAVEL
2. (E) FIRE LANE
3. (E) PARKING TO REMAIN
4. (E) KINDERGARTEN PLAY AREA
5. (E) PRE-K PLAY AREA
6. (E) WHEELCHAIR LIFT
7. (E) COURTYARD - SEE A1.3 FOR COURTYARD SCOPE
8. (E) ROOF OVERHANG
9. (E) DRINKING FOUNTAIN
10. (E) OUTDOOR HI/LOW DRINKING FOUNTAIN
11. (E) RAMP

SHEET NOTES - CONT.

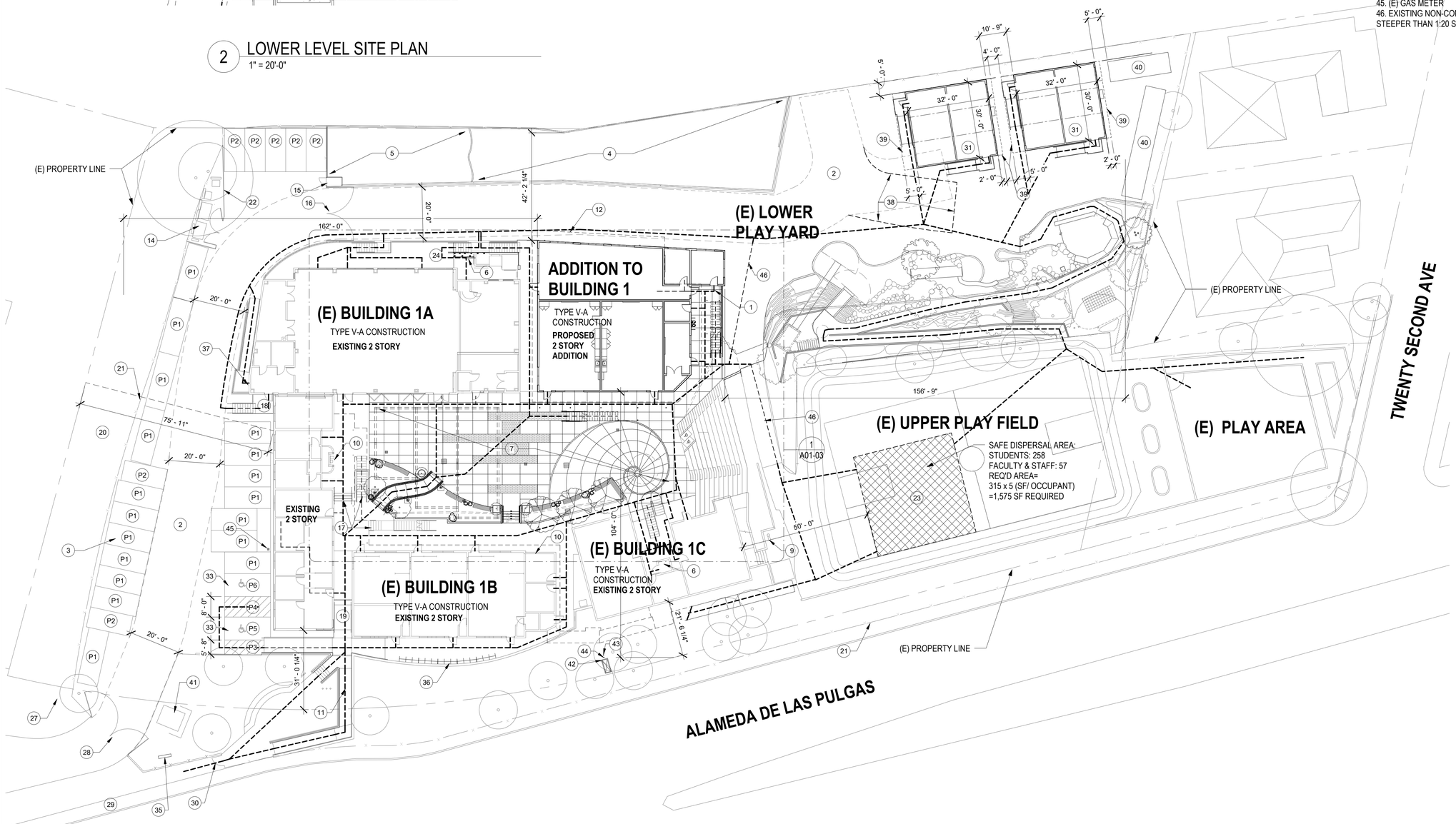
12. LINE OF ROOF OVERHANG ABOVE
13. LINE OF BALCONY ABOVE
14. (E) TRASH ENCLOSURE
15. (E) PERSONEL CHAINLINK GATE
16. (E) DRIVEWAY CHAINLINK GATE
17. (E) EXTERIOR STAIR
18. (E) CONC. STAIR AND DECK
19. (E) EXTERIOR 1:12 SLOPE RAMP AND LEVEL LANDINGS
20. (E) CREEK
21. (E) CHAIN LINK FENCE
22. (E) WOOD FENCE
23. SAFE DISPERSAL AREA
24. (E) LOWER WALKWAY AREA
25. (E) LOWER CONC. WALKWAY AREA
26. (E) CONC. RETAINING WALLS
27. (E) UTILITY POLE WITH ELECTRICAL TRANSFORMER
28. (E) MAIN DRIVEWAY GATE
29. (E) DROP-OFF ALONG ALAMEDA DE LAS PULGAS
30. (E) MAIN PEDESTRIAN ENTRY GATE (5'-0" WIDE OPENING)

SHEET NOTES - CONT.

31. TEMPORARY CLASSROOM PORTABLES LOCATION (APPROXIMATE); PORTABLES TO MEET ALL ACCESSIBILITY REQUIREMENTS PER CODE
32. (E) CONTAINERS
33. (E) ACCESSIBLE PARKING
34. (E) 20'-0" WIDE EMERGENCY VEHICLE /FIRE APPARATUS ACCESSIBLE ROAD
35. PUBLIC ART PROPOSED LOCATION
36. 15 (REQUIRED) SHORT TERM BIKE PARKING SPACES, LAYOUT IS 30" OF SPACE PER BIKE EQUALS 32'-6" PARKING LENGTH
37. 5 (REQUIRED) LONG TERM BIKE PARKING SPACES PROVIDED IN LOWER LEVEL STORAGE ROOM A007
38. TEMPORARY RECONFIGURATION OF FIRELANE TURN AROUND DURING TEMPORARY PORTABLES PLACEMENT
39. PORTABLES ROOF OVERHANG
40. (E) SHIPPING CONTAINER
41. (E) ELECTRICAL TRANSFORMER & PAD
42. (E) DOUBLE CHECK DETECTOR ASSEMBLY
43. (E) FIRE DEPARTMENT CONNECTION
44. (E) POST INDICATOR VALVE
45. (E) GAS METER
46. EXISTING NON-CONFORMING PATH OF TRAVEL, STEEPER THAN 1:20 SLOPE



2 LOWER LEVEL SITE PLAN
1" = 20'-0"



1 OVERALL SITE PLAN
1" = 20'-0"

FEET 0 1 2 4

PLAN NORTH TRUE NORTH

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LICENSED ARCHITECT
DARA A. YOUNGDALE
REG. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	JAS
CHECKED	-
JOB CAPTAIN	JAS

ISSUE

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	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2
	MAR. 13, 2019	PLANNING RESUBMITTAL R4

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OVERALL SITE PLAN

SCALE As indicated

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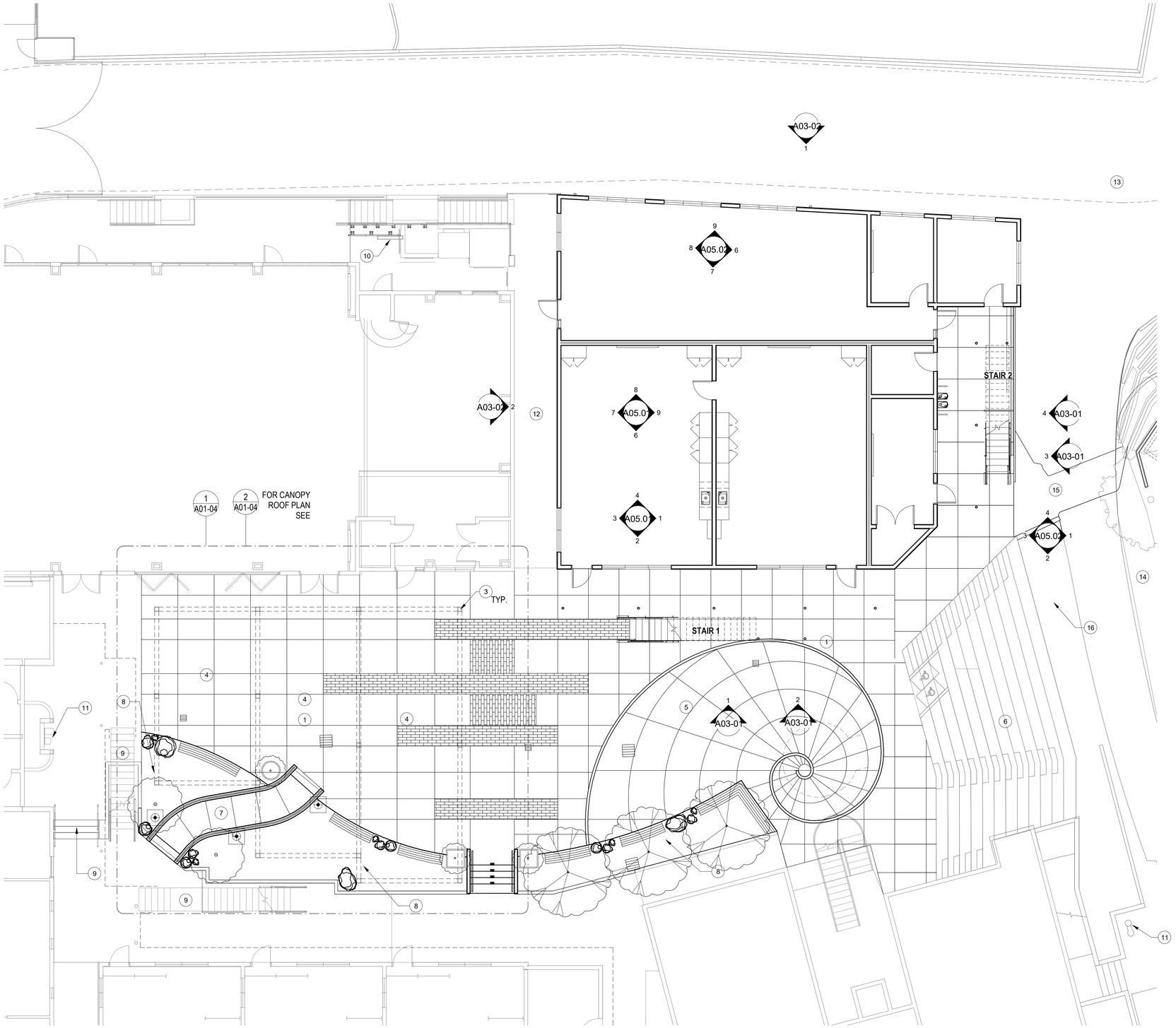

1 ENLARGED COURTYARD SITE PLAN
1/8" = 1'-0"

0 1 2 4 FEET

GENERAL NOTES

A. PROJECT IS REQUIRED TO ACHIEVE " LEED CERTIFIED".
B. SEE EXTERIOR ELEVATIONS FOR WINDOW NOTES

SHEET NOTES

1. CONCRETE PAVING
2. PERMEABLE PAVING
3. STEEL COLUMNS SUPPORTING SUNSHADE CANOPY ABOVE
4. SUNSHADE CANOPY ABOVE
5. CONCRETE PAVING AND FIBONACCI SPIRAL W/ COLORED CONCRETE BAND AT COURTYARD
6. (E) COURTYARD TIERED SEATING TO REMAIN
7. 8% SLOPE CONCRETE RAMP W/ HANDRAILS AND LEVEL LANDING AT TOP & BOTTOM
8. TREES & PLANTER BEDS W/ LOW RETAINING WALL
9. (E) STAIR & GUARDRAIL
10. (E) INCLINED STAIR LIFT TO LOWER YARD AND LOWER LEVEL
11. (E) DRINKING FOUNTAIN
12. (E) CONCRETE WALKWAY BETWEEN BUILDINGS
13. LOWER PLAY YARD
14. ACCESS TO UPPER PLAYGROUND
15. ASPHALT WALKWAY
16. LANDSCAPE AREA

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DARA A. YOUNGDALE
No. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

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SAN MATEO, CA 94403

JOB NO. 10232
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JOB CAPTAIN JAS

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ENLARGED SITE PLAN

SCALE 1/8" = 1'-0"

A01-03

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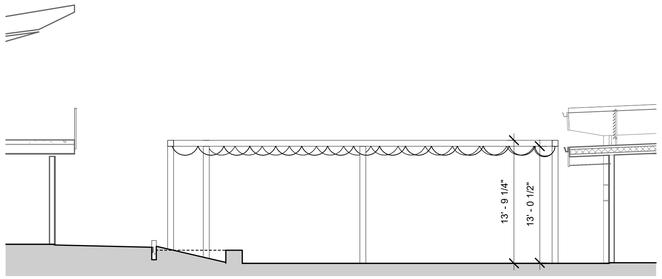
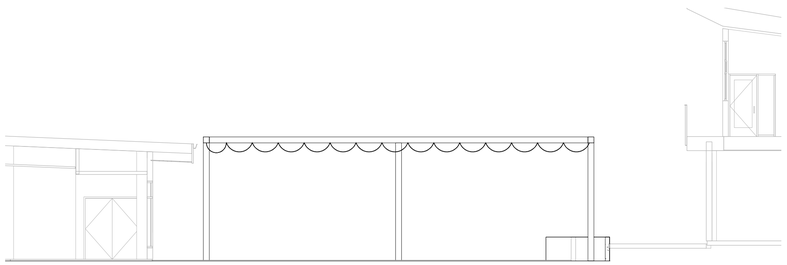
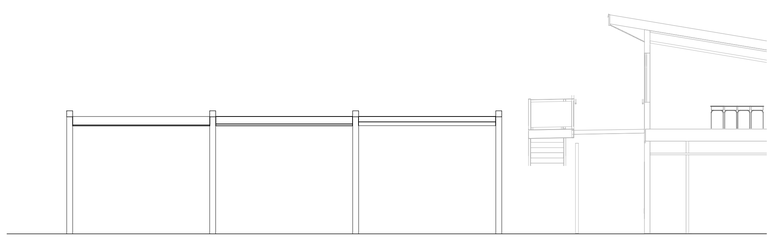


6 SUNSHADE ELEVATION 4
1/8" = 1'-0"

5 SUNSHADE ELEVATION 3
1/8" = 1'-0"

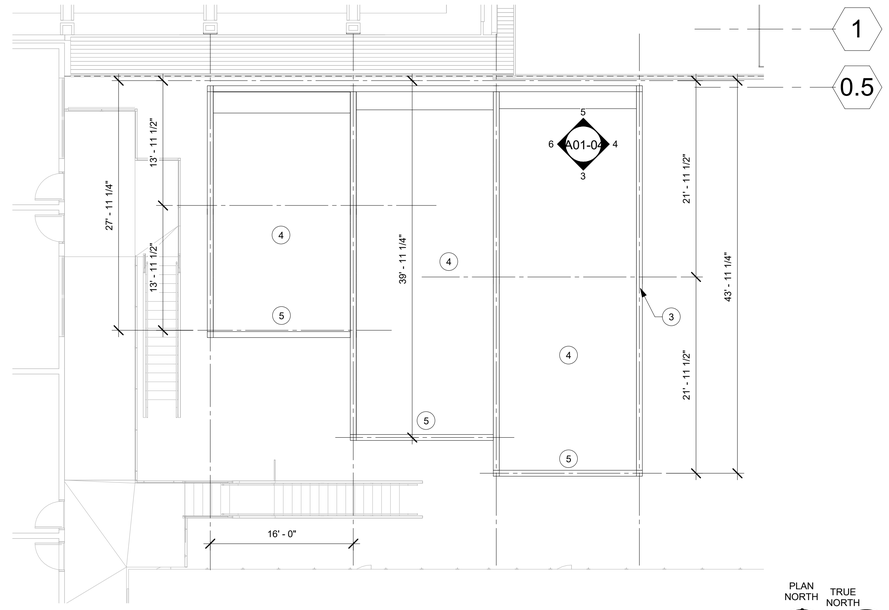


4 SUNSHADE ELEVATION 2
1/8" = 1'-0"



3 SUNSHADE ELEVATION 1
1/8" = 1'-0"

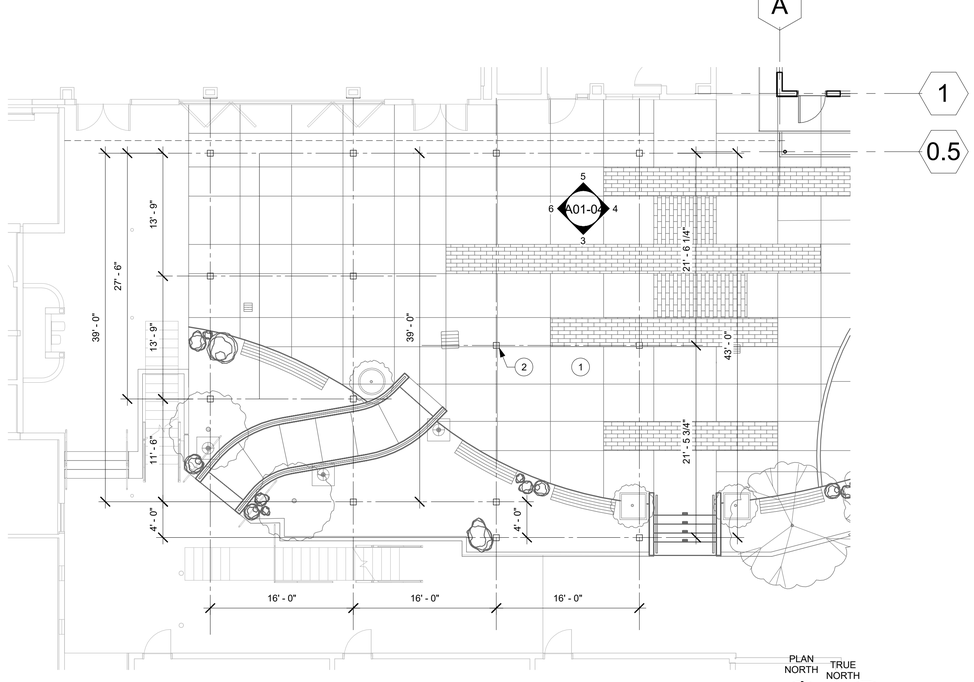
FEET
0 4 8 16



2 COURTYARD CANOPIES - ROOF PLAN
1/8" = 1'-0"

FEET
0 4 8 16

PLAN NORTH
TRUE NORTH



1 COURTYARD CANOPIES - ENLARGED PLAN
1/8" = 1'-0"

FEET
0 4 8 16

PLAN NORTH
TRUE NORTH

GENERAL NOTES

A.

SHEET NOTES

1. FOR GENERAL COURTYARD NOTES SEE 1 / A01-03
2. 8" X 8" HSS SHADE STRUCTURE COLUMN, TYP
3. 8" X 8" HSS SHADE STRUCTURE BEAM, TYP
4. SHADE STRUCTURE FABRIC
5. MANUALLY OPERATED SHADE STRUCTURE FABRIC TO RETRACT TO SOUTH SIDE OF CANOPY

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LICENSED ARCHITECT
DARA A. YOUNGDALE
REG. C 18051
REN. 10-31-19
STATE OF CALIFORNIA

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2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
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CHECKED	-
JOB CAPTAIN	JAS

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CANOPY PLANS AND ELEVATIONS

SCALE 1/8" = 1'-0"

A01-04

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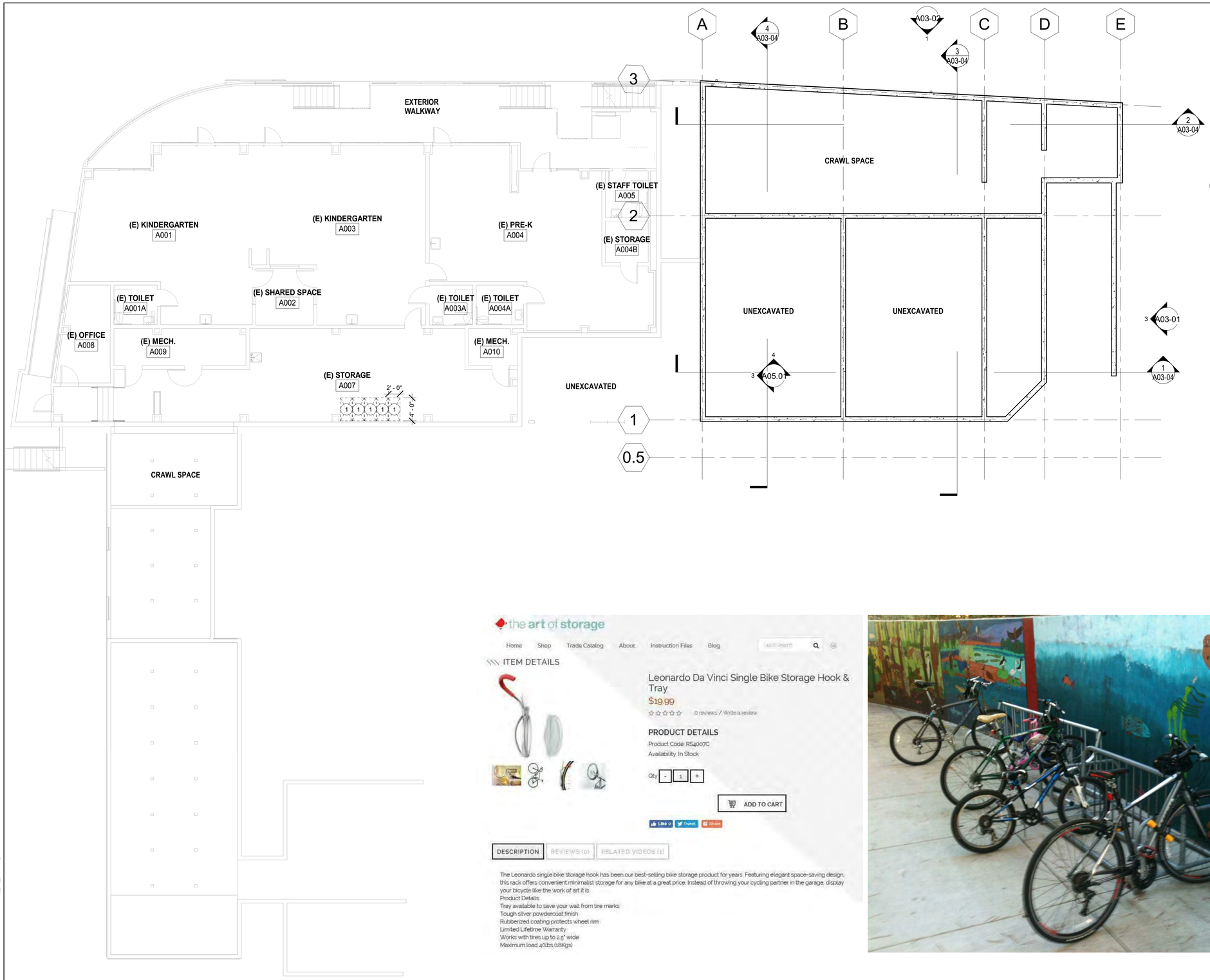

1 (E) LOWER LEVEL/ CRAWL SPACE PLAN
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

A. SEE FLOOR PLAN ENLARGEMENTS FOR MORE INFORMATION AT REFERENCED PLAN AREAS
B. SEE SHEET FOR MAJOR FLOOR LEVEL GRADES
C. SEE STRUCTURAL DRAWINGS FOR FOUNDATION DRAWINGS
D. FOR ADDITIONAL INFORMATION, SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL & LANDSCAPE DRAWINGS

SHEET NOTES

1. WALL HUNG - UPRIGHT BIKE STORAGE - "LONG TERM" - (5 TOTAL)

LONG TERM BIKE STORAGE RACK PRODUCT

SHORT TERM BIKE STORAGE RACKS

PLAN NORTH
TRUE NORTH
FEET
0 4 8 16

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DARA A. YOUNGDALE
No. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

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(E) LOWER LEVEL/ CRAWL SPACE PLAN

SCALE 1/8" = 1'-0"

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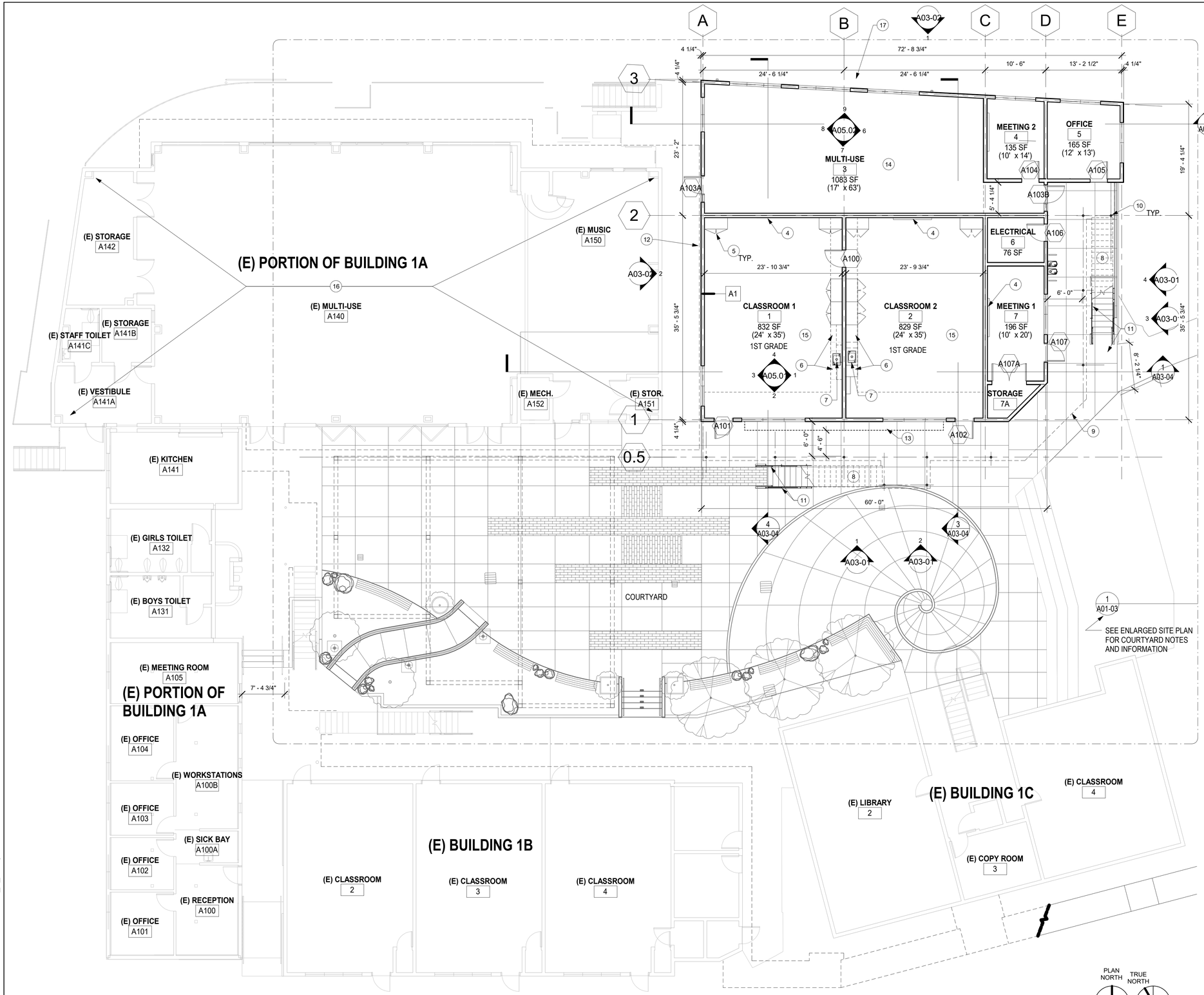

1 1ST. FLOOR
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

A. SEE FLOOR PLAN ENLARGEMENTS FOR MORE INFORMATION AT REFERENCED PLAN AREAS
B. SEE SHEET FOR MAJOR FLOOR LEVEL GRADES
C. SEE STRUCTURAL DRAWINGS FOR FOUNDATION DRAWINGS
D. FOR ADDITIONAL INFORMATION, SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL & LANDSCAPE DRAWINGS

SHEET NOTES

1. DOOR
2. VERTICAL PLATFORM LIFT
3. STAIR
4. WHITEBOARD
5. FULL HEIGHT TEACHER'S CABINET
6. COUNTERTOP AND BASE CABINETS
7. ACCESSIBLE SINK
8. STEEL STAIR
9. EXIT BALCONY ABOVE
10. STEEL PIPE COLUMN SUPPORTING EXIT BALCONY ABOVE
11. STEEL GUARDRAIL AT 42" HIGH
12. (E) ROOF OVERHANG ABOVE
13. CUBBIES
14. INCLUDE WOOD CHAIR RAIL AND WAINSCOT IN MULTIUSE SPACE
15. CLASSROOM LAYOUT AND INTERIOR SCOPE TO BE DEVELOPED AND CLARIFIED IN THE DESIGN DEVELOPMENT PHASE
16. TWO STORIES
17. SEE SECOND FLOOR PLAN FOR ROOF OVERHANG

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DRAWING TITLE
FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"

A02-02

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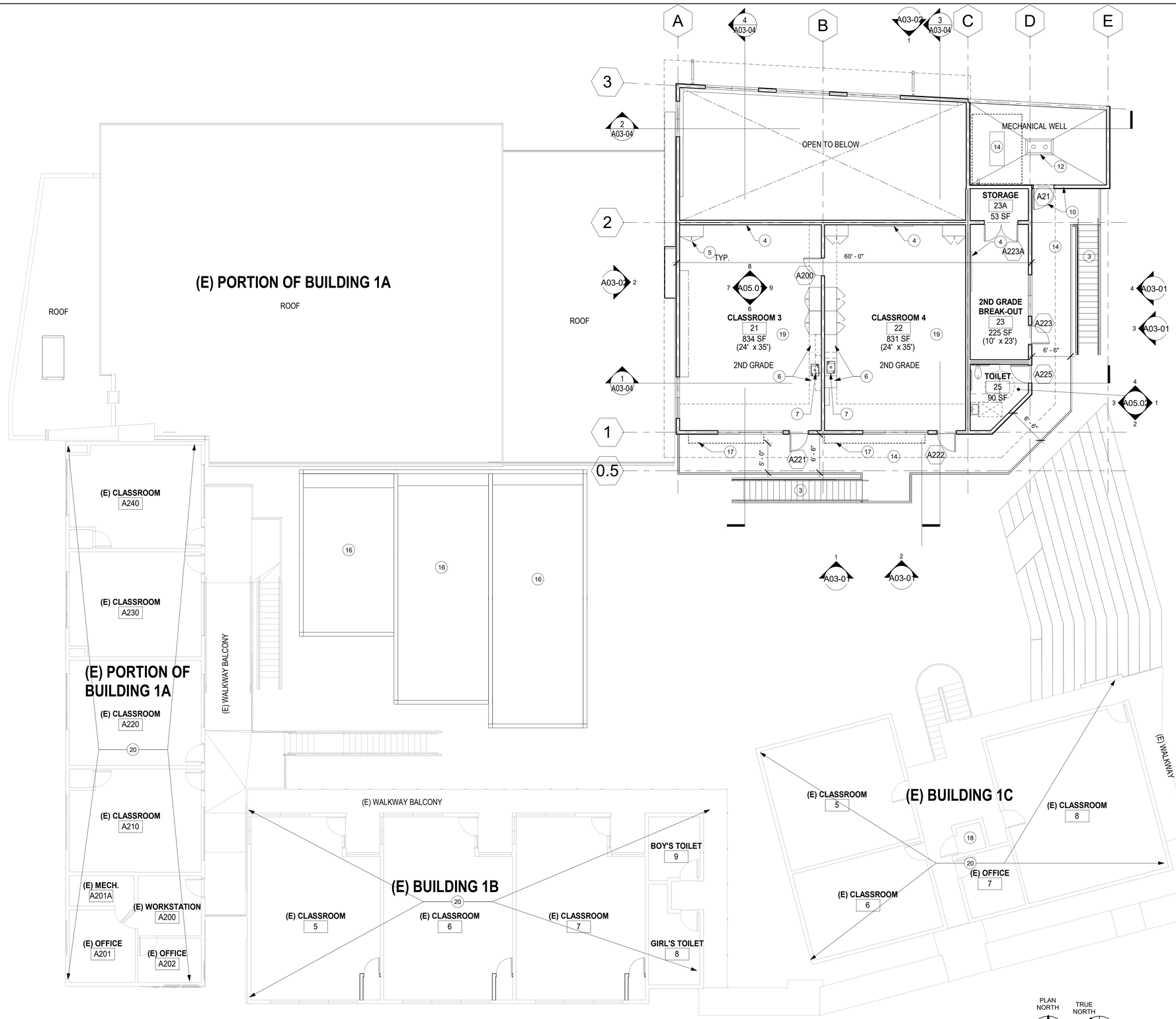

1 2ND. FLOOR
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

A. SEE FLOOR PLAN ENLARGEMENTS FOR MORE INFORMATION AT REFERENCED PLAN AREAS
B. SEE SHEET FOR MAJOR FLOOR LEVEL GRADES
C. SEE STRUCTURAL DRAWINGS FOR FOUNDATION DRAWINGS
D. FOR ADDITIONAL INFORMATION, SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL & LANDSCAPE DRAWINGS

SHEET NOTES

1. DOOR
2. VERTICAL PLATFORM LIFT
3. STAIR
4. WHITEBOARD
5. FULL HEIGHT TEACHER'S CABINET
6. COUNTERTOP AND BASE CABINETS
7. ACCESSIBLE SINK
8. FLOOR MOUNTED WATER CLOSET
9. FLOOR MOUNTED LAVATORY
10. PARAPET WALL AND GATE AT MECHANICAL WELL
11. OUTDOOR VRF UNIT
12. ROOF DRAIN AND OVERFLOW
13. GUTTER W/ DOWNSPOUTS
14. EXIT BALCONY
15. GUTTER AT EDGE OF EXIT BALCONY W/ DOWNSPOUTS
16. SHADE STRUCTURE CANOPY BELOW W/ RETRACTABLE ROMAN SHADE FABRIC
17. CUBBIES
18. (E) WHEELCHAIR LIFT
19. CLASSROOM LAYOUT AND INTERIOR SCOPE TO BE DEVELOPED AND CLARIFIED IN THE DESIGN DEVELOPMENT PHASE
20. TWO STORIES

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LICENSED ARCHITECT
DARA A. YOUNGDALE
REN. 10-31-19
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	JAS / ASM
CHECKED	-
JOB CAPTAIN	JAS

ISSUE

	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 6, 2019	PLANNING RESUBMITTAL R2

DRAWING TITLE

SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

A02-03

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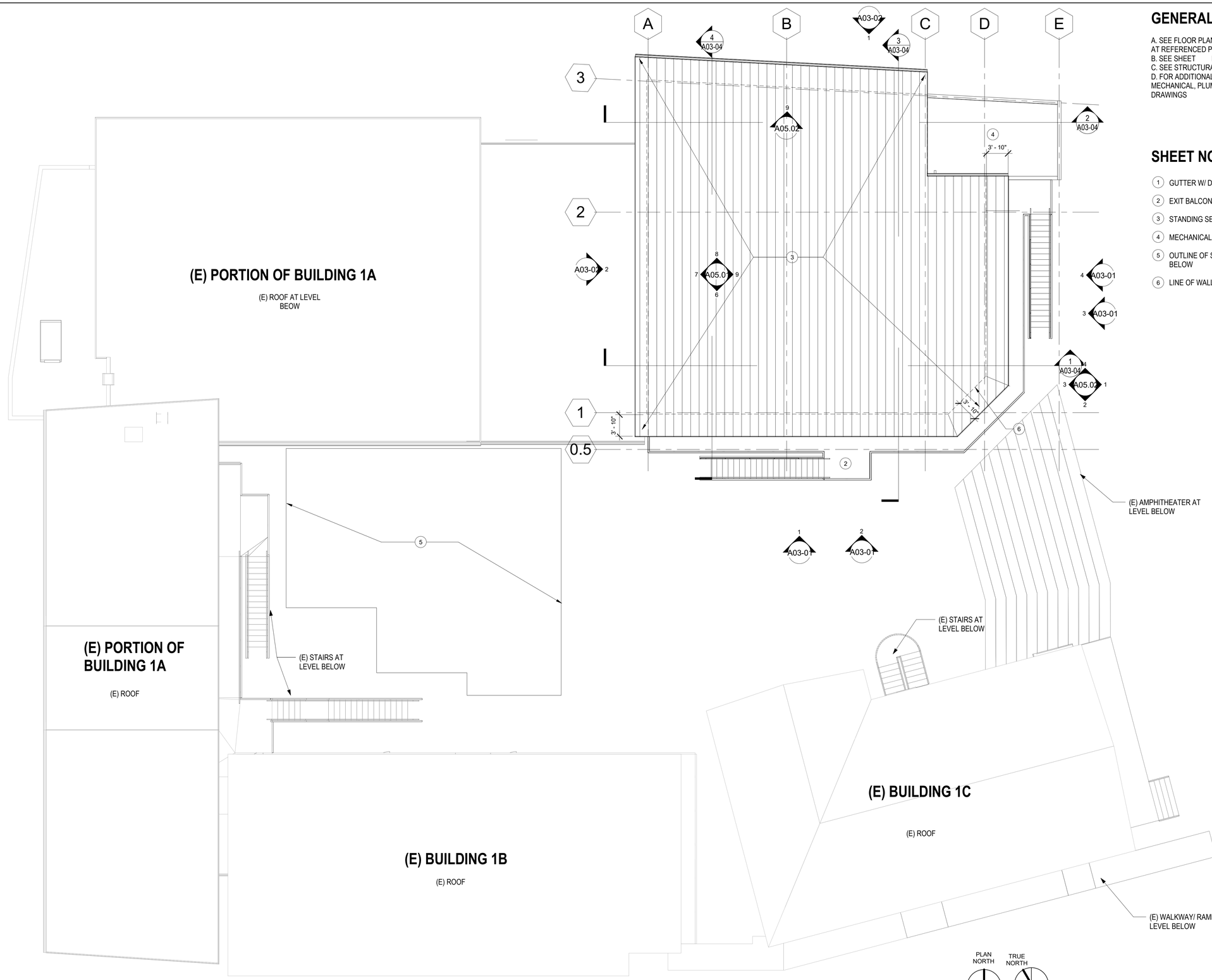

1 ROOF
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

A. SEE FLOOR PLAN ENLARGEMENTS FOR MORE INFORMATION AT REFERENCED PLAN AREAS
B. SEE SHEET FOR MAJOR FLOOR LEVEL GRADES
C. SEE STRUCTURAL DRAWINGS FOR FOUNDATION DRAWINGS
D. FOR ADDITIONAL INFORMATION, SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL & LANDSCAPE DRAWINGS

SHEET NOTES

1. GUTTER W/ DOWNSPOUTS
2. EXIT BALCONY BELOW AT SECOND FLOOR
3. STANDING SEAM METAL ROOF "PV PANEL READY"
4. MECHANICAL WELL AND EQUIPMENT AT LEVEL BELOW
5. OUTLINE OF SHADE STRUCTURE CANOPY AT LEVEL BELOW
6. LINE OF WALL BELOW

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LICENSED ARCHITECT
DARA A. YOUNGDALE
LIC. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

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DRAWING TITLE
ROOF PLAN

SCALE 1/8" = 1'-0"

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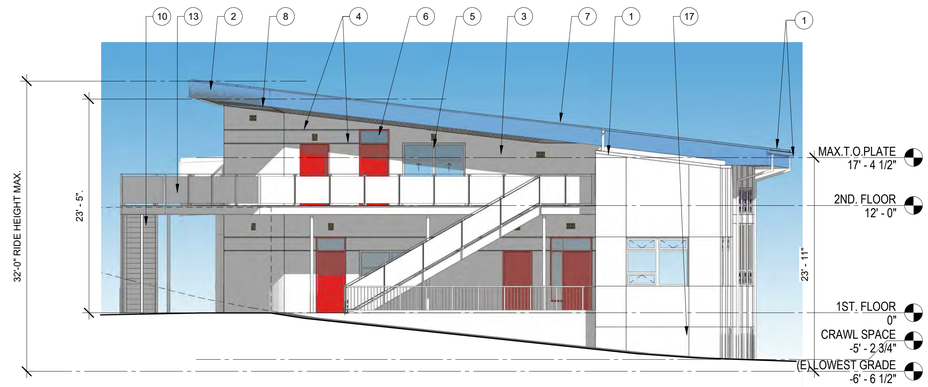
SHEET NOTES

1. GUTTER AND DOWNSPOUT CONNECTED TO UNDERGROUND SD SYSTEM
2. 1-1/8" MARINE GRADE PLYWOOD FASCIA
3. 7/8" CEMENT PLASTER FINISH SYSTEM, TYPICAL
4. 1" ALUMINUM REVEAL
5. ALUMINUM WINDOW W/ MILLED ALUMINUM FINISH
6. HOLLOW METAL DOOR AND FRAME, WITH HOLLOW METAL TRANSOME AND SIDELIGHT WHERE OCCURS
7. STANDING SEAM METAL ROOF ; ROOF AND BUILDING TO BE PV READY PER ORDINANCE ___
8. CEDAR SOFFIT TO MATCH EXISTING
9. DECORATIVE "OPEN PICKET" STEEL GUARDRAIL
10. STEEL STAIR
11. (E) STAIR AND EXTERIOR WALKWAY
12. (E) GUARDRAIL
13. GUARDRAIL TO MATCH EXISTING BALCONY GUARDRAIL
14. EXTERIOR WALKWAY (EXIT BALCONY)
15. STEEL PIPE COLUMN W/ METALLIC ALUMINUM PAINT, TYPICAL
16. SHADE STRUCTURE CANOPY
17. CRAWL SPACE
18. (E) 1 STORY CLASSROOM BUILDING
19. (E) 2 STORY CLASSROOM BUILDING



2 EAST ELEVATION
1/8" = 1'-0"

1 SOUTH ELEVATION AT COURTYARD
1/8" = 1'-0"

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No. C 18511
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SOUTH AND EAST EXTERIOR COLOR ELEVATIONS

SCALE 1/8" = 1'-0"

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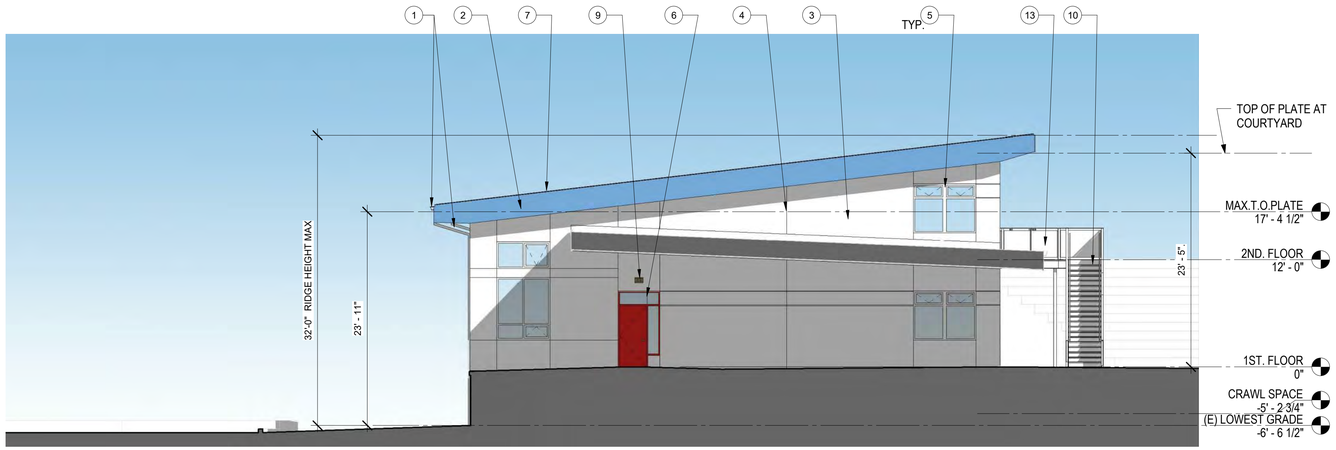
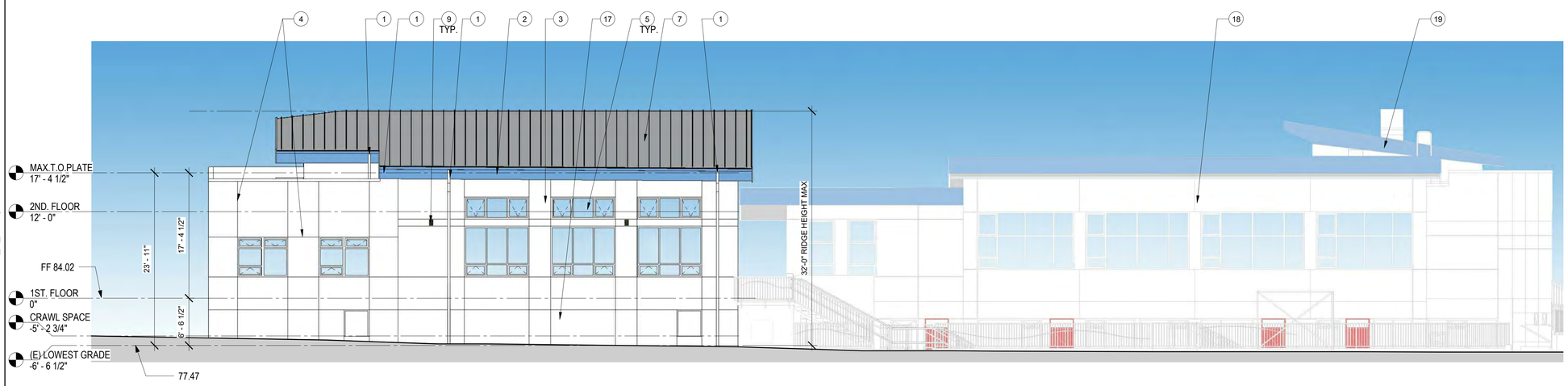


2 WEST EXTERIOR ELEVATION - Planning
1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION - Planning
1/8" = 1'-0"

SHEET NOTES

1. GUTTER AND DOWNSPOUT
2. WOOD FASCIA
3. CEMENT PLASTER FINISH SYSTEM, TYPICAL
4. 1" ALUMINUM REVEAL
5. ALUMINUM WINDOW W/ MILLED ALUMINUM FINISH
6. HOLLOW METAL DOOR AND FRAME, WITH HOLLOW METAL TRANSOME AND SIDELIGHT WHERE OCCURS
7. STANDING SEAM METAL ROOF
8. LOCATION OF MAX. PLATE HEIGHT ABOVE LOWEST ADJACENT GRADE
9. LIGHT FIXTURE - S.E.D.
10. STEEL STAIR
11. (E) STAIR AND EXTERIOR WALKWAY
12. (E) GUARDRAIL
13. GUARDRAIL TO MATCH EXISTING BALCONY GUARDRAIL
14. EXTERIOR WALKWAY (EXIT BALCONY)
15. NOT USED
16. NOT USED
17. CRAWL SPACE
18. (E) 1 STORY CLASSROOM BUILDING
19. (E) 2 STORY CLASSROOM BUILDING

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No. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

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JOB CAPTAIN	JAS

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NORTH AND WEST EXTERIOR COLOR ELEVATIONS

SCALE 1/8" = 1'-0"

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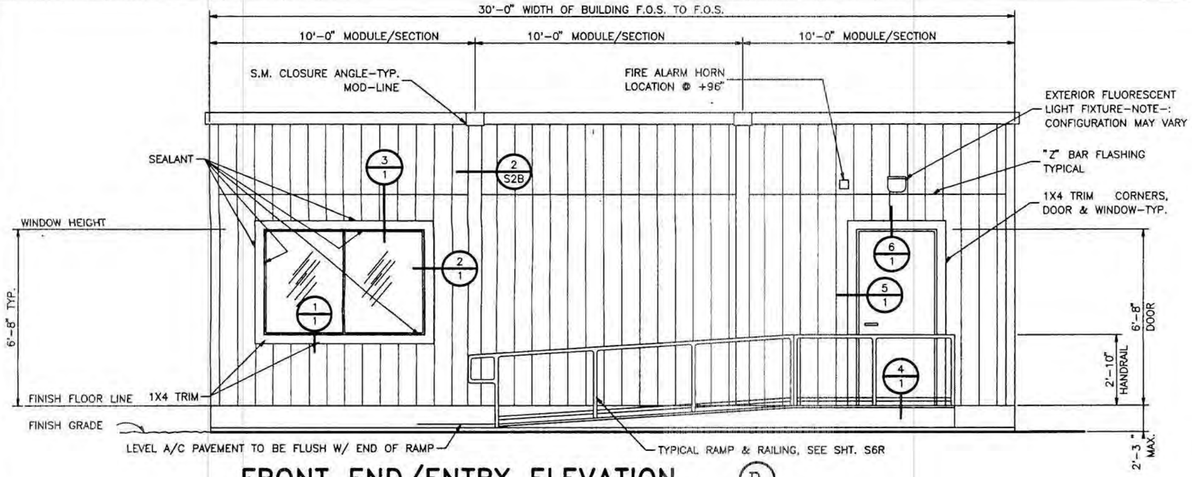
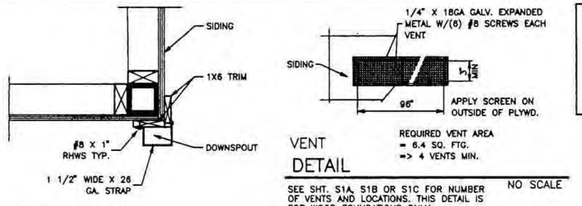


FRONT END/ENTRY ELEVATION (D)

SCALE:3/8"=1'-0"



DOWNSPOUT DETAIL (3/2)

1 1/2"=1'-0"

REQUIRED VENT AREA = 6.4 SQ. FTG. => 4 VENTS MIN.

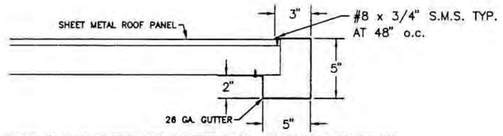
VENT DETAIL

SEE SHT. S1A, S1B OR S1C FOR NUMBER OF VENTS AND LOCATIONS. THIS DETAIL IS FOR WOOD FOUNDATIONS ONLY.

NO SCALE

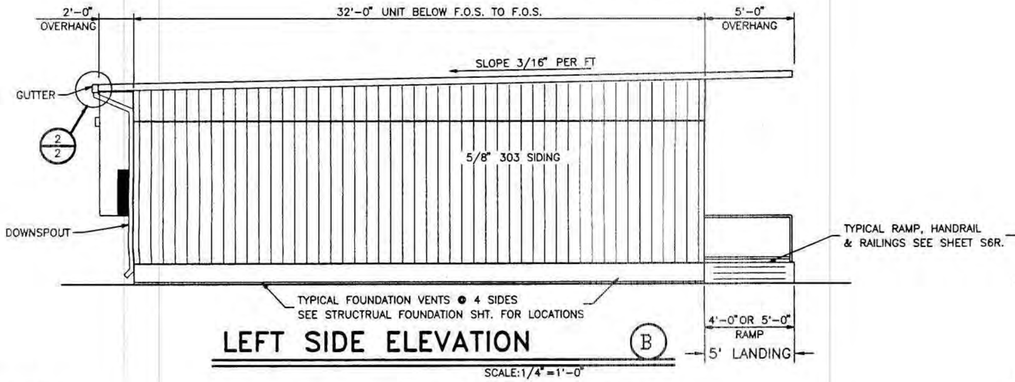
1/4" X 18GA GALV. EXPANDED METAL W/(6) #8 SCREWS EACH VENT. ALSO SEE SHT. S1 APPLY SCREEN ON OUTSIDE OF PLYWD. REQUIRED VENT AREA = 6.4 SQ. FTG.

UNDER FLOOR VENTING



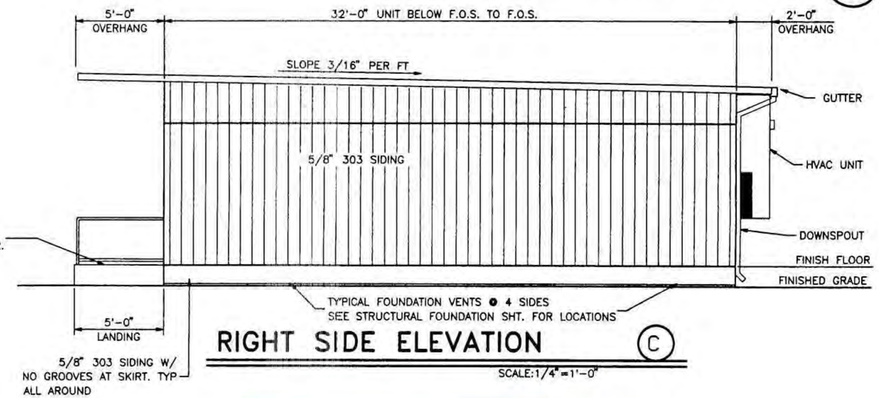
GUTTER: 26 GA., G-90 GALV. STEEL, FASTENED W/ #8 x 3/4" S.M.S. @ 48" O.C. MAX.
DOWNSPOUT: 2"X3" G-90 30 GA. CONVOLUTED GALV. STEEL.
DOWNSPOUT STRAPS: 26 GA. STEEL X 1 1/2" WIDE ATTACHED TO BLDG. MAX. 6'-0" O.C.

GUTTER AT OVERHANG DETAIL (2/2)



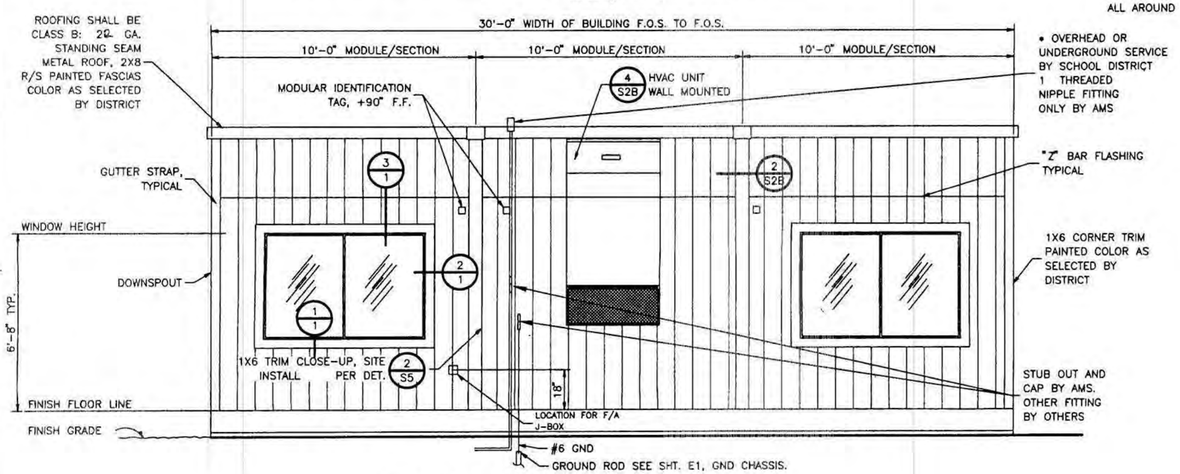
LEFT SIDE ELEVATION (B)

SCALE:1/4"=1'-0"



RIGHT SIDE ELEVATION (C)

SCALE:1/4"=1'-0"



REAR END ELEVATION (A)

SCALE:3/8"=1'-0"

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DIV. OF THE STATE ARCHITECT
OFFICE OF REGULATION SERVICES
APPL PC 389
AC. ✓ FLS ✓ SS JR
DATE 3-13-98

30 X 32
RELOCATABLE
CLASSROOMS

American Modular Systems
333 EAST CARNEGIE CT. MANTECA, CALIFORNIA 95337
PHONE (209) 825-1921 FAX. (209) 825-7018

CUSTOMER:

EXTERIOR ELEVATIONS

DATE:	11-17-97
SCALE:	NONE
DRAWN BY:	R.S.
CHECKED BY:	
CHECKED BY:	
SERIAL NO.	

REVISIONS

NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION
△			△		
△			△		
△			△		
△			△		

PROJECT No.

SHEET No.

FOR REFERENCE ONLY A03-03A

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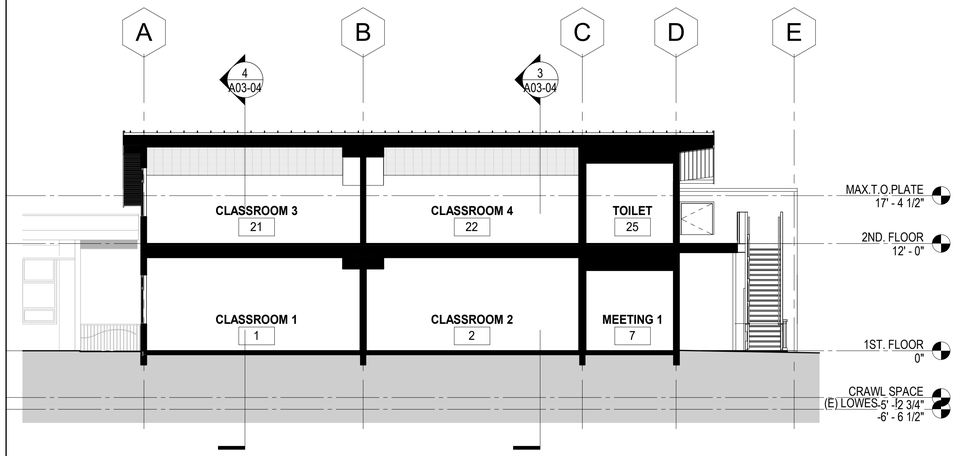
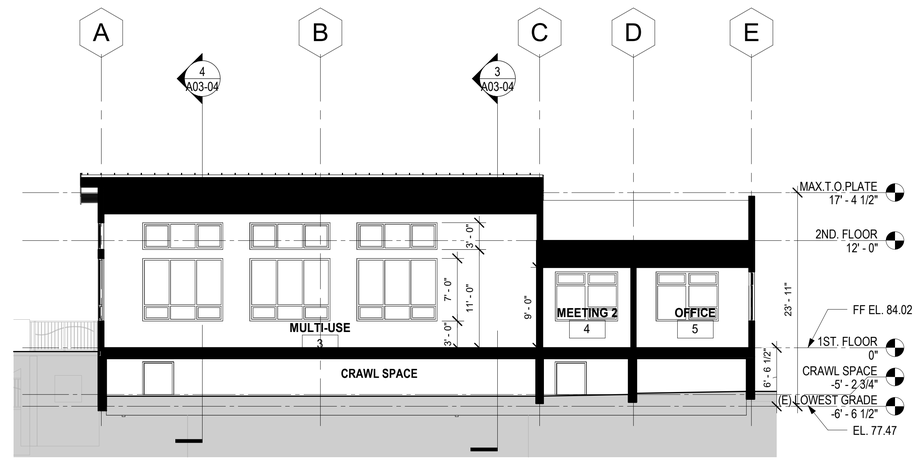
SHEET NOTES

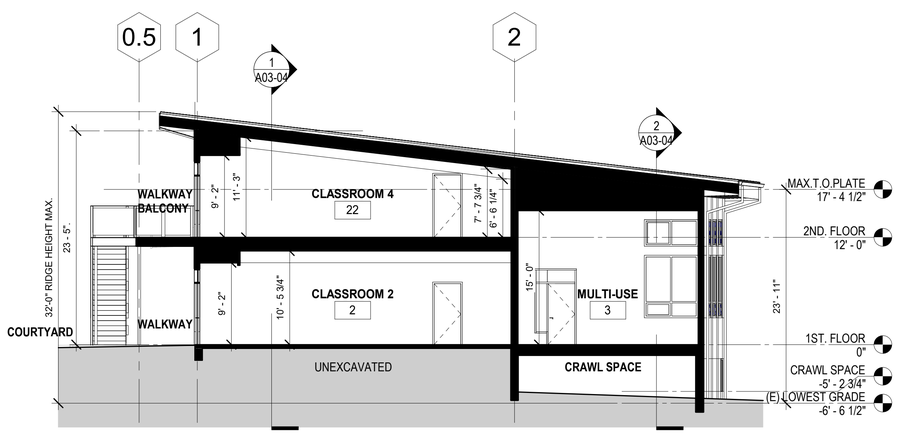
1. 32'-0" MAX RIDGE HEIGHT



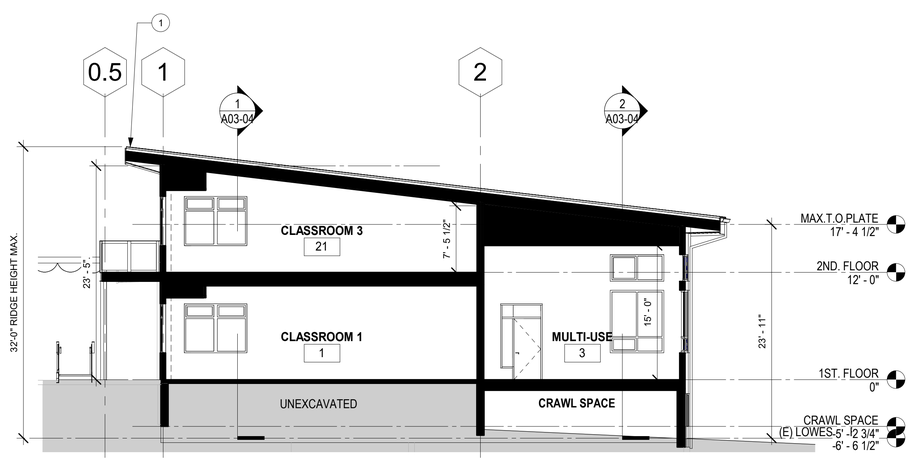
1 Section E-W 2
1/8" = 1'-0"



2 Section E-W 1
1/8" = 1'-0"



3 Section N-S 1
1/8" = 1'-0"



4 Section N-S 2
1/8" = 1'-0"

FEET
0 4 8 16

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LICENSED ARCHITECT
DARA A. YOUNGDALE
REG. C 18511
REN. 10-31-19
STATE OF CALIFORNIA

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DRAWING TITLE

BUILDING SECTIONS

SCALE 1/8" = 1'-0"

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COURTYARD RENDERING

SCALE

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VIEW FROM NORTH RENDERING

SCALE

A05-02A

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GENERAL NOTES

1. VERIFY EXISTING CONDITIONS IN FIELD.
2. AREAS DAMAGED OR AFFECTED BY THIS WORK SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING U.O.N.
3. VERIFY THE EXACT LOCATION AND MOUNTING HEIGHT OF WALL, FLOOR AND CEILING MOUNTED EQUIPMENT WITH THE ARCHITECT.
4. PROVIDE CONDUIT AND WIRING AS REQUIRED FOR CIRCUITING AND SWITCHING SHOWN.
5. CONDUIT SHALL BE RUN CONCEALED IN WALLS AND CEILINGS OR UNDER FLOOR AT ALL NEW WORK AREAS.
6. PROVIDE TYPEWRITTEN PANELBOARD DIRECTORIES.
7. CONNECT TO EXISTING CENTRALIZED LIGHTING CONTROL SYSTEM FOR EXTERIOR LIGHTING AT NEW BUILDING.

DRAWING LIST

E00-01 ELECTRICAL LEGEND, FIXTURE SCHEDULE, AND DETAILS
E01-02 ELECTRICAL SITE PLAN
E02-02 ELECTRICAL FIRST FLOOR POWER AND LOW VOLTAGE PLAN
E02-03 ELECTRICAL SECOND FLOOR POWER AND LOW VOLTAGE PLAN
E02-04 ELECTRICAL ROOF POWER AND LOW VOLTAGE PLAN
E03-02 ELECTRICAL FIRST FLOOR LIGHTING PLAN
E03-03 ELECTRICAL SECOND FLOOR LIGHTING PLAN
E04-01 ELECTRICAL SINGLE LINE DIAGRAM

FIRE ALARM SYSTEM

1. PROVIDE DESIGN BUILD FOR ALARM SYSTEM ADDITIONS.
   a) FULLY AUTOMATIC AT NEW BUILDING.
   b) VOICE EVACUATION FOR NEW BUILDING AND UPGRADE EXISTING BUILDING.
2. SUBMIT TO SAN MATEO FIRE DEPARTMENT FOR PLAN REVIEW AND PERMIT.

2 E00.01 LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	WATTS	MOUNTING
A	SURFACE MOUNTED LED 4'	HE WILLIAMS #ASM-4-L46/835-S-S-A-DIM-UNV	42	SURFACE
B	SURFACE MOUNTED 2x2 FLAT PANEL LED	METALUX #22SP3435/SP-SURDSKFKIT	32	SURFACE
C	40' PENDANT DIR/IND. LED	FINELITE #S12LEDID-DCO-40-3E-V-V-835-OPEN-120V-SC-FA-FE-C4	573	PENDNAT CABLE
D	VANITY LED	FINELITE #S17LED-VCF-PF-2-V-830-120-SC	18.4	WALL ABOVE MIRROR
E	SURFACE DOWNLIGHT LED	DMF #DRDHN-JO-DRD5S-4-R-10-9-30	12	SURFACE ON RECESSED OUTLET
F	EXTERIOR LED AREA LIGHT SIMILAR TO EXISTING WITH 2 LEVEL MOTION SENSOR CONTROL	GARDCO #P26140L-1150-NW-G2-WS-2-120-BL-IMR3-BZ	52	WALL
F1	EXTERIOR LED PATHWAY LIGHT	RAB #SLIM-26-N	29	WALL
G	2x2 RECESSED LED	FINELITE #HPR-LED-A-2X2-DCO-B-835-120-SC-C1		RECESSED T-BAR
H	LED STRIP	KELVIX #PH41K-WR-24V. PROVIDE TRANSFORMER.		UNDER BENCH
I	STEP LIGHT LED	WINONA #STEP13WL-6LONG-L-LST2A-WHT40K-MVOLT-BA		RECESSED STEP LIGHT
J	BOLLARD LED	ERCO CASTER #33287.00		CONCRETE BASE
X	EMERGENCY LED EXIT SIGN WITH LIGHT HEADS	CHLORIDE #CLC-N-GW		SURFACE WALL/CEILING
Z	INTERIOR EMERGENCY FIXTURE WITH WIRE GUARD	CHLORIDE #CLU2-N-W		SURFACE WALL
Z1	EXTERIOR EMERGENCY LIGHT FIXTURE LED	DUALLITE #PG-Z-HTR		SURFACE WALL

FIXTURE SCHEDULE NOTES:

1. ALL INTERIOR FIXTURES SHALL BE 3500°K AND ALL EXTERIOR SHALL BE 4000°K
2. GENERAL FIXTURE NUMBERS ARE INDICATED. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AS REQUIRED FOR A COMPLETE SYSTEM.

The Carey School
Schematic Scope
1st & 2nd Grade Classroom Building

POWER

1. Electrical Room will house the electrical panels and wall-mounted IDF.
2. 400A feed from the main switchboard.
3. The existing Panel C, that serves the existing classroom, is in the adjacent building and is only 125A, single phase and shall be disconnected from removed building.

DATA

1. New wall-mounted IDF in the Electrical Room will serve data in the new building.
2. Provide 12 strand fiber from MDF to IDF and Cat6 to outlets.

FIRE ALARM

1. New fire alarm at the new building will be fully automatic voice evacuation.
2. Provide new fire alarm panel with voice evacuation for the full campus per the San Mateo Fire Department.
3. Provide carbon monoxide detection in all classrooms (existing and new) with gas-fired appliances (furnaces).

LIGHTING

1. All interior lighting will be LED with automatic shutoff, (motion sensors), dimming (where required), and daylight harvesting (where applicable).
   a. The interior lighting style will depend on the final building design, but we propose cable hung direct/indirect in the multi-use and surface in other rooms.
2. Exterior lighting will be LED and connected to the existing control system.
   a. Courtyard, balcony, and stairs will have general illumination from the buildings with accent lighting in the courtyard as determined by the landscape architect.

1 E00.01 LEGEND

SYMBOL	DESCRIPTION
	LIGHT DOTTED OR CROSS HATCHED LINES & SYMBOLS INDICATE EXISTING TO BE REMOVED.
	LIGHT LINES AND SYMBOLS INDICATE EXISTING TO REMAIN
	HEAVY LINES AND SYMBOLS INDICATE NEW WORK
	NUMERALS ADJACENT TO SYMBOLS INDICATES CIRCUIT. LOWER CASE LETTERS ADJACENT TO SYMBOL INDICATES CONTROL FROM CORRESPONDING SWITCH OR OCCUPANCY SENSOR.
	DOWNLIGHT–SEE FIXTURE SCHEDULE
	LIGHT FIXTURE WALL MOUNT–SEE FIXTURE SCHEDULE.
	LED FIXTURE–SEE FIXTURE SCHEDULE.
	EMERGENCY EXIT SIGN–SEE FIXTURE SCHEDULE
	EMERGENCY LIGHT HEAD UNIT–SEE FIXTURE SCHEDULE
A	LIGHTING FIXTURE TYPE NOTATION.
2	SHEET NOTE IDENTIFICATION TAG, SEE "SHEET NOTES" ON RESPECTIVE DRAWINGS.
	GROUND FAULT INTERRUPTER RECEPTACLE.
	CEILING MOUNTED RECEPTACLE.
	20 AMP, VAC DUPLEX RECEPTACLE; COOPER #5362W, HUBBELL OR APPROVED EQUAL +18" U.O.N.
	20 AMP, 125 VAC FOURPLEX RECEPTACLE; (2) COOPER #5362W IN COMMON BOX, HUBBELL OR APPROVED EQUAL +18" U.O.N.
	DATA OUTLET 4 11/16" SQ. x 2 1/8" DEEP BOX WITH SINGLE GANG RING AND 2/RJ45 JACK WITH COVER PLATE AND 2–CAT6 CABLES TO IDF PATCH PANEL +18", U.O.N. (#) INDICATES NUMBER OF JACKS AND CABLES IF MORE THAN 2. PROVIDE 1"C. IDF.
	TELEPHONE/DATA OUTLET 4 11/16" SQ. x 2 1/8" DEEP BOX WITH SINGLE GANG RING & 2/RJ45 DATA JACKS & 1 CAT 3 TELEPHONE JACK & COVER PLATE +18" U.O.N., 3–CAT6 DATA CABLES TO IDF CABLE TO TELEPHONE BACKBOARD. PROVIDE 1"C. TO IDF.
CS	PROJECTION CONTROL STATION. PROVIDE 4" SQUARE BOX WITH SINGLE GANG RING AND 3/4"C.O. TO PROJECTOR LOCATION AND PROVIDE OUTLET BOX AT PROJECTOR.
WP F	FIRE ALARM WEATHERPROOF SPEAKER.
F	FIRE ALARM SPEAKER/STROBE WHEELLOCK #AS–24MCW–FR +80"
S	FIRE ALARM CEILING SPEAKER
	FIRE ALARM STROBE
SD	SMOKE DETECTOR
S	CLOCK & SPEAKER COMBINATION TO MATCH EXISTING SIMPLEX
AV	AUDIO VISUAL SYSTEM CEILING OR FLOOR OUTLET. PROVIDE RAPID RUN CABLE BETWEEN AV OUTLETS.
AV	AUDIO VISUAL SYSTEM WALL OUTLET. PROVIDE RAPID RUN CABLE BETWEEN AV OUTLETS.
$	SWITCH +42"
$T	THERMAL OVERLOAD OR FUSTAT SWITCH +42" U.O.N.
$3	SWITCH, 3–WAY +42"
J J	JUNCTION BOX (NOT ALL SHOWN). SIZE AS REQUIRED BY CODE, WITH B.M.C.; BLANK STAINLESS STEEL COVER WHERE FLUSH IN FINISHED AREAS.
M	MOTOR OUTLET.
	MAGNETIC MOTOR STARTER
	MOTOR DISCONNECT SWITCH.
	PANELBOARD– SEE SCHEDULE
#10	CONDUIT AND WIRING CROSSLINES INDICATES QUANTITY OF PHASE & NEUTRAL CONDUCTORS WHEN MORE THAN 2. NO CROSSLINES INDICATES 2#12 + #12G CONDUCTORS, OTHER SIZES OF CONDUCTORS INDICATED BY NOTATION. PROVIDE GROUND WIRE WITH ALL CIRCUITS.
	CONDUIT AND/OR WIRING IN OR UNDER FLOOR.
	CONDUIT AND/OR WIRING CONCEALED IN WALLS AND/OR CEILING.
	CONDUIT AND/OR WIRING HOMERUN TO PANEL OR EQUIPMENT AS NOTED.
T	TELEPHONE CONDUIT & CABLE
	CONDUIT STUB AND CAP OR BUSHING.
D	DATA CONDUIT & CABLE
	CONDUIT/CABLE TURNING UP OR DOWN.
T/D	TELEPHONE/DATA CABLES.
AV	AUDIO/VISUAL CONDUIT & WIRING
F	FIRE ALARM CONDUIT/CABLE(S).
	LOW VOLTAGE CONTROL WIRING. 3/C #18 FOR OCCUPANCY SENSORS, 2#18 PURPLE/GREY FOR 0–10V.
	FLEXIBLE CONDUIT CONNECTION TO EQUIPMENT OR LIGHT FIXTURE.

SYMBOL	DESCRIPTION
AFF	ABOVE FINSHED FLOOR
AV	AUDIO VISUAL
CKT, ℄	CIRCUIT
C	CONDUIT
C.O.	CONDUIT ONLY
CL	CLOCK SYSTEM
D	DATA
(E)	EXISTING
EL	EARLY LIGHT DUSK TO PRESET TIME OFF
FA	FIRE ALARM
FO	FIBER OPTIC
GFI	GROUND FAULT INTERRUPTER
G, GND	GROUND
MSL	MORNING TO DAWN LIGHTING CONTROL
MEL	MORNING TO PRESET TIME OFF LIGHTING CONTROL
(N)	NEW
NL	NIGHT LIGHT
NTS	NOT TO SCALE
NIC	NOT TO CONTRACT
PA	PUBLIC ADDRESS
PC	PHOTOCELL
(R)	REMOVE
(RL)	RELOCATE
SL	SECURITY LIGHT DUSK TO DAWN
T	TELEPHONE
TS	TIME SWITCH
U.G.	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

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538 NINTH STREET SUITE 240 • OAKLAND, CA 94607
T 510 625 9800 • F 510 625 9801 • WWW.HKIT.COM

REGISTERED PROFESSIONAL ENGINEER
MICHAEL JOHN VOIGTLANDER
No. E 11460
Exp. 12/19
ELECTRICAL
STATE OF CALIFORNIA

DATE SIGNED: Jan 29,19

BWF
18055
JOB NUMBER
BWF CONSULTING ENGINEERS
ELECTRICAL ENGINEERS
220 SO. SPRUCE AVENUE, SUITE 203
SO. SAN FRANCISCO, CALIFORNIA 94080
(650) 871-0220

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	S.M.
CHECKED	M.V.
JOB CAPTAIN	M.V.

ISSUE

△	DATE	DESCRIPTION
	11–16–18	100% SCHEMATIC DESIGN
	01–30–19	PLANNING RESUBMITTAL

DRAWING TITLE
ELECTRICAL LEGEND, FIXTURE SCHEDULE AND DETAILS

SCALE AS NOTED

E01-01

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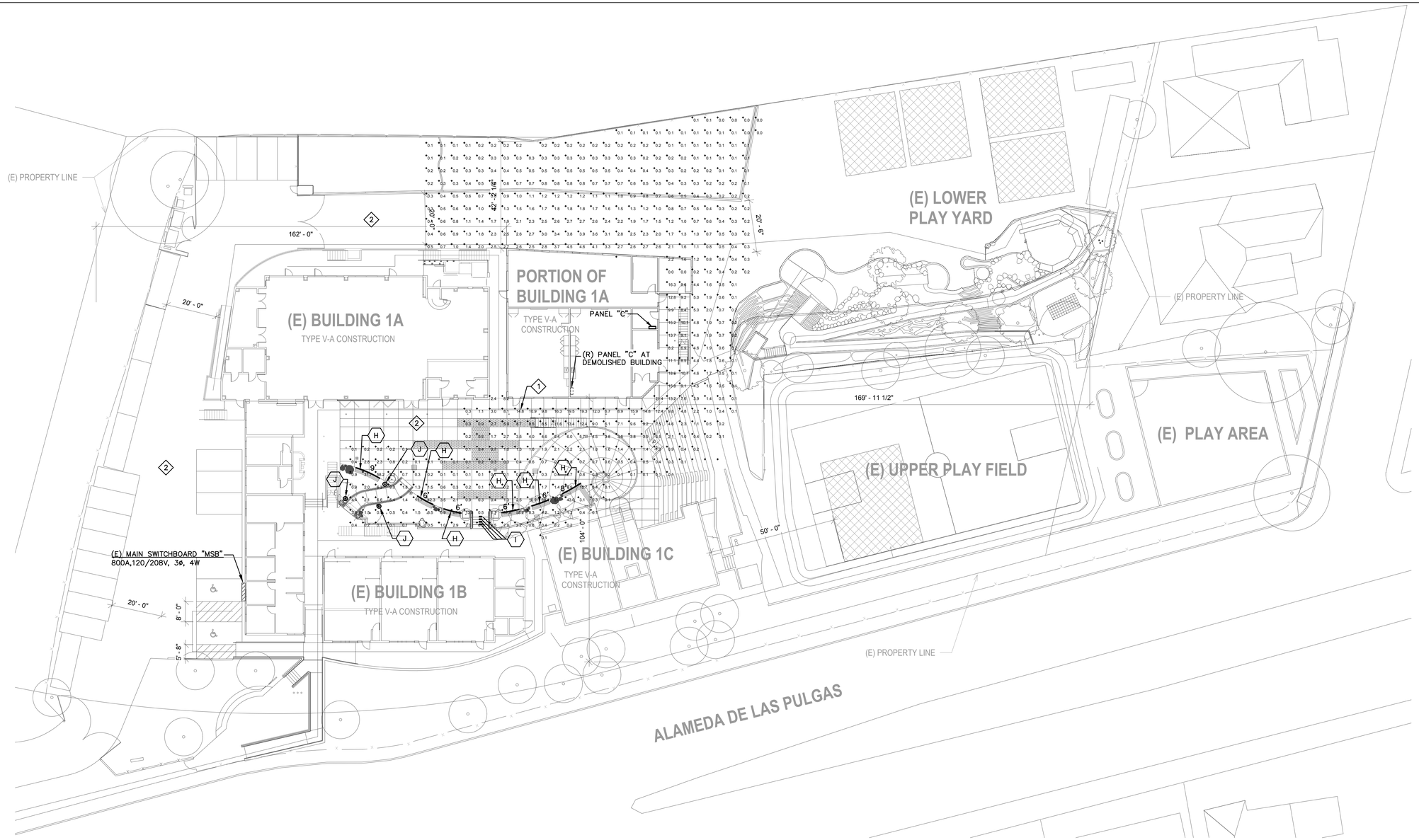

1 E01.02 ELECTRICAL SITE PLAN

SCALE: 1"= 20'-0"

0 10 20 40 FEET

PLAN NORTH TRUE NORTH

SHEET NOTES:

1. CALCULATED LIGHT LEVEL AT GRADE TYPICAL.
2. SEE PHOTOMETRIC STUDY FOR 2013 PROJECT FOR THIS AREA.

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SAN MATEO, CA 94403

JOB NO.	10232
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CHECKED	M.V.
JOB CAPTAIN	M.V.

ISSUE

△	DATE	DESCRIPTION
	11-16-18	100% SCHEMATIC DESIGN
	01-30-19	PLANNING RESUBMITTAL

DRAWING TITLE
ELECTRICAL SITE PLAN

SCALE AS NOTED

E01-02

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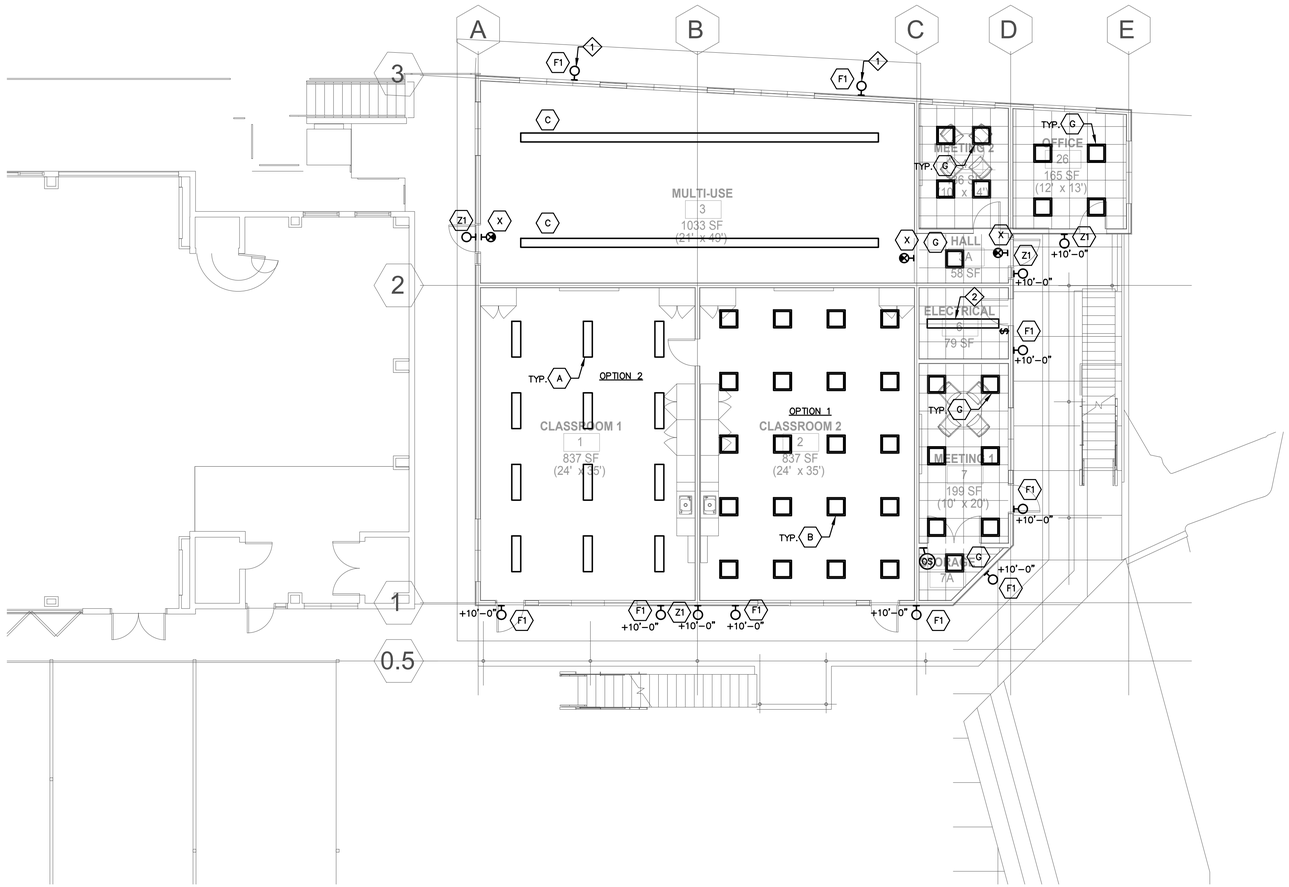

SHEET NOTES:

1. 11'-0" ABOVE 1ST FLOOR TO TOP OF FIXTURE ±18" ABOVE GRADE.
2. STRIP LED.

GENERAL NOTES:

1. PROVIDE T24 CONTROLS (AUTO SHUT OFF, DIMMING, DAYLIGHT CONTROL).

1 / E03-02 ELECTRICAL FIRST FLOOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH

0 4' 8' 16' FEET

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REGISTERED PROFESSIONAL ENGINEER
MICHAEL JOHN VOIGTLANDER
No. E 11460
Exp. 12/19
ELECTRICAL
STATE OF CALIFORNIA

DATE SIGNED: Jan 29,19

18055
JOB NUMBER

BWF CONSULTING ENGINEERS
ELECTRICAL ENGINEERS
220 SO. SPRUCE AVENUE, SUITE 203
SO. SAN FRANCISCO, CALIFORNIA 94080
(650) 871-0220

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

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SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	S.M.
CHECKED	M.V.
JOB CAPTAIN	M.V.

ISSUE

△	DATE	DESCRIPTION
	11-16-18	100% SCHEMATIC DESIGN
	01-30-19	PLANNING RESUBMITTAL

DRAWING TITLE
ELECTRICAL FIRST FLOOR LIGHTING PLAN

SCALE AS NOTED

E03-02

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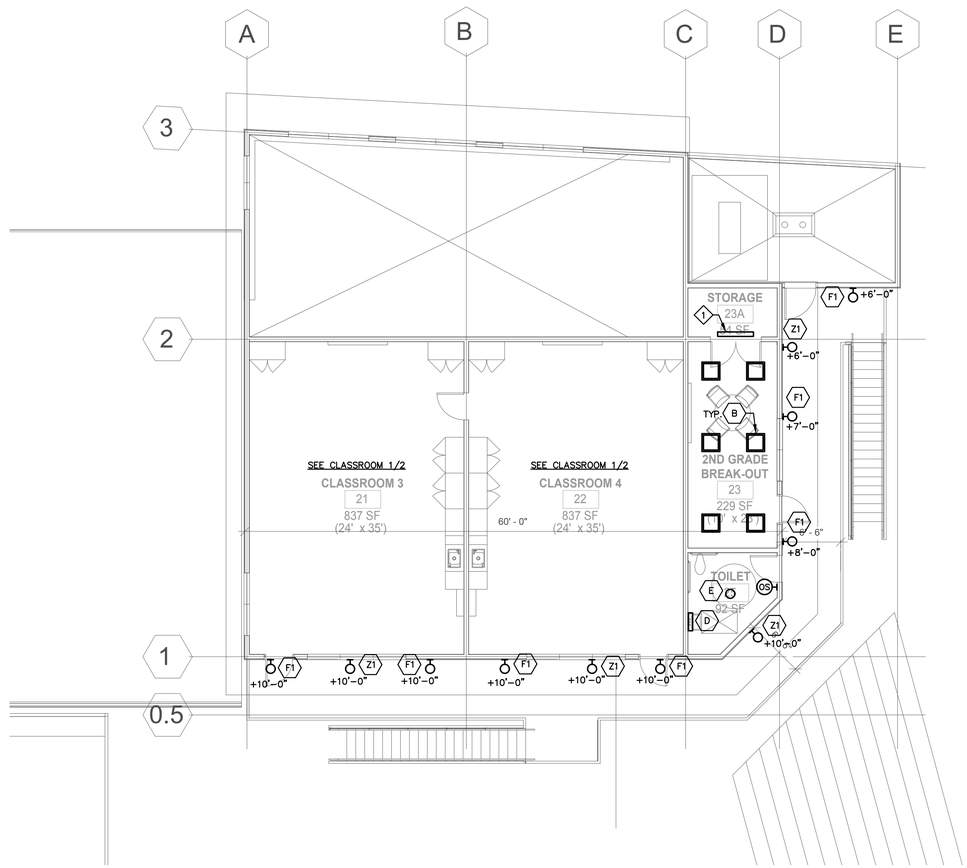

SHEET NOTES:

1. STRIP LED.

1 E03-03 ELECTRICAL SECOND FLOOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH

0 4' 8' 16' FEET

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REGISTERED PROFESSIONAL ENGINEER
MICHAEL JOHN VOIGTLANDER
No. E 11460
Exp. 12/19
ELECTRICAL
STATE OF CALIFORNIA

DATE SIGNED: Jan 29,19

BWF
18055
JOB NUMBER
BWF CONSULTING ENGINEERS
ELECTRICAL ENGINEERS
220 SO. SPRUCE AVENUE, SUITE 203
SO. SAN FRANCISCO, CALIFORNIA 94080
(650) 871-0220

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2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

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DRAWN	S.M.
CHECKED	M.V.
JOB CAPTAIN	M.V.

ISSUE

△	DATE	DESCRIPTION
	11-16-18	100% SCHEMATIC DESIGN
	01-30-19	PLANNING RESUBMITTAL

DRAWING TITLE

ELECTRICAL SECOND FLOOR LIGHTING PLAN

SCALE AS NOTED

E03-03

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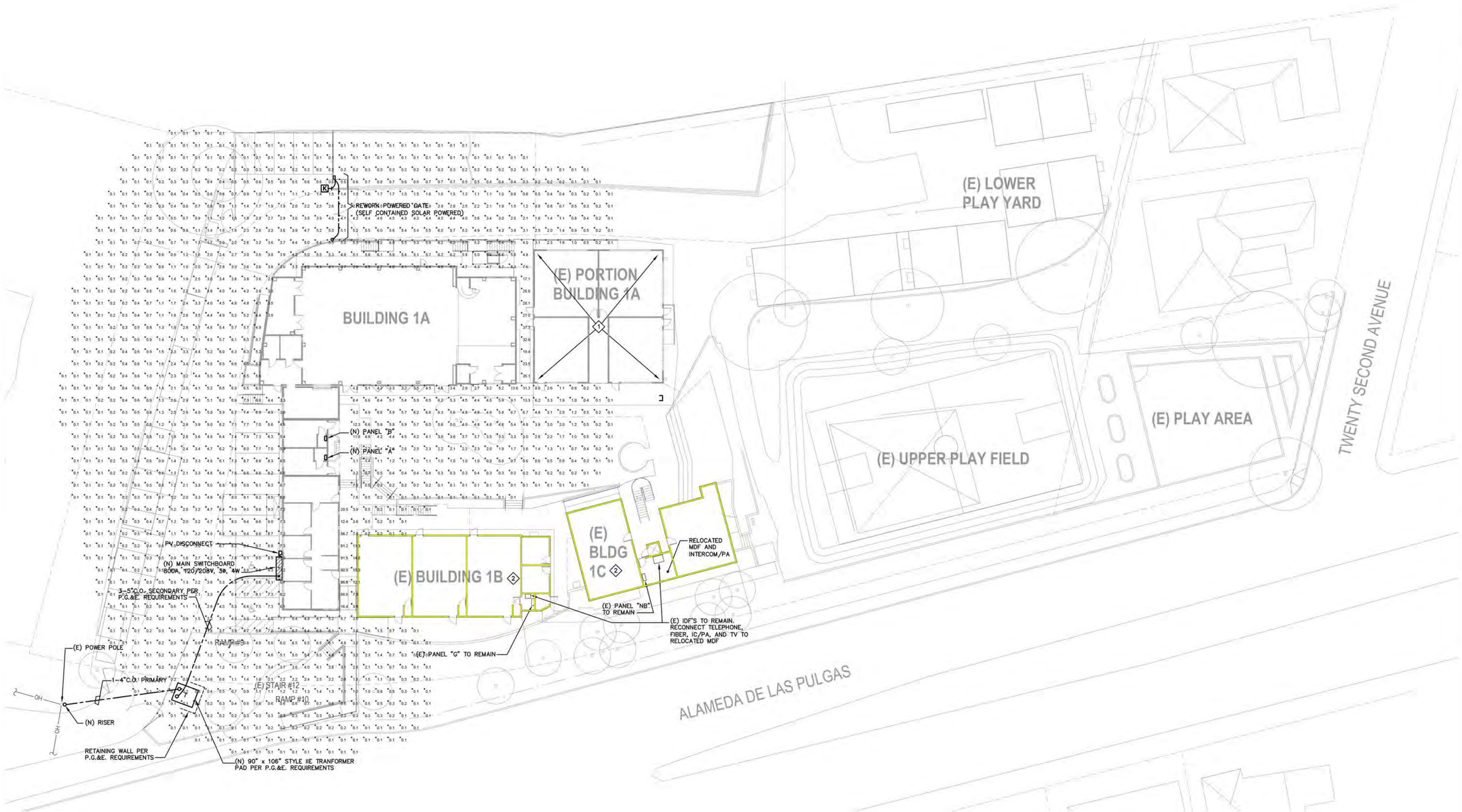

1 E1.0B **ELECTRICAL SITE PLAN**

SCALE: 1"= 20'-0"

0 10 20 40 FEET

PLAN NORTH TRUE NORTH

SHEET NOTES:

1. PROVIDE TEMP POWER AND LOW VOLTAGE TO EAST PORTION OF BUILDING 1A DURING CONSTRUCTION THEN RECONNECT PERMANENTLY.
2. PROVIDE POWER AND LOW VOLTAGE TO 1B & 1C DURING CONSTRUCTION.

ATLAS / PELLIZZARI ELECTRIC INCORPORATED
450 Howland Street
Redwood City, CA. 94063
650 364 1204 Tel.
650 364 6193 Fax.

13018
JOB NUMBER

BWF CONSULTING ENGINEERS
ELECTRICAL ENGINEERS
510 MYRTLE AVENUE, SUITE 100
SOUTH SAN FRANCISCO, CALIFORNIA 94080
(650) 871-0220
FAX: (650) 871-0224

REGISTERED PROFESSIONAL ENGINEER MICHAEL JOHN VOSTRA-RIDER No. E 11460 Exp. 12/13 ELECTRICAL STATE OF CALIFORNIA

DATE SIGNED: Oct. 05, 18

THE CAREY SCHOOL REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA. 94403

JOB NO.	10230
DRAWN	SJM
CHECKED	M.V.
JOB CAPTAIN	M.V.
DATE	04/24/13

△	DATE	DESCRIPTION
	4/24/13	COORDINATION SET
	5/31/13	BUILDING PERMIT SUBMITTAL

DRAWING TITLE:
ELECTRICAL SITE PLAN

SCALE: AS NOTED

E1.0B

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PLOTTED: Oct 05, 2018-11:35am

EXISTING PHOTOMETRIC PLAN - FOR REFERENCE ONLY

TOPOGRAPHIC SURVEY

CAREY SCHOOL
2103 ALAMEDA DE LAS PULGAS

CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA

OCTOBER - 2018

NOTES:

THE BOUNDARY, EASEMENT, AND OTHER ENCUMBRANCES SHOWN ON THIS DRAWING ARE BASED SOLELY UPON INFORMATION CONTAINED IN THE FOLLOWING DOCUMENTS:

BERESFORD MANOR VOLUME 13, PAGES 44,45, SAN MATEO COUNTY RECORDS;
PARCEL MAP 389, VOLUME 74, PAGES 32,33, SAN MATEO COUNTY RECORDS;
NO BOUNDARY MONUMENTS WERE LOCATED OR SURVEYED AS A PART OF THIS SURVEY.

THIS PROPERTY SHOWN HEREON IS LOCATED OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

THIS IS NOT A UTILITY SURVEY. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.

CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

DATUM NOTE:

HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON REAL TIME GPS/GNSS NETWORK OBSERVATIONS PROVIDED BY CALIFORNIA DRAFTING AND SURVEY SUPPLY. CALIFORNIA COORDINATE SYSTEM ZONE III, NAD83, NAVD88 DATUM EPOCH 2012.

THIS TOPOGRAPHIC SURVEY WAS DONE BY A FIELD CREW UNDER THE SUPERVISION OF ALEXANDER FONG, OCTOBER 15, 2018.

ALEXANDER V, FONG — DATE: 11-9-2018
PLS 9252

LICENSED LAND SURVEYOR — ALEXANDER VICTORIO FONG — No. 9252 — STATE OF CALIFORNIA

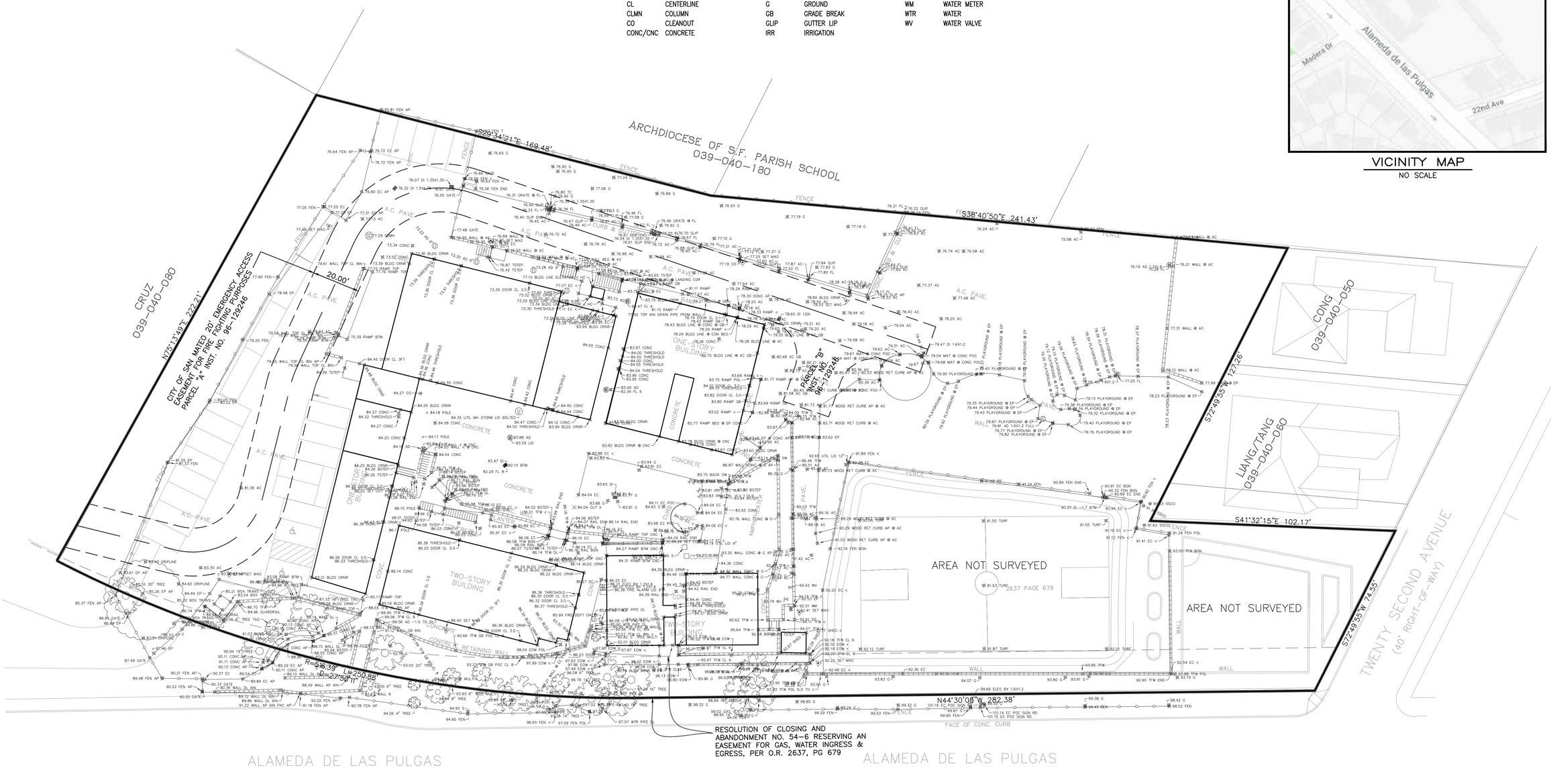
LEGEND:

ELECTRIC BOX	CHAIN LINK FENCE
GAS VALVE	WOODEN CURB
SANITARY SEWER CLEANOUT	WALL
STORM DRAIN THROUGH CURB	GUARD RAIL
STORM DRAIN CATCHBASIN	
STORM DRAIN MANHOLE	
SURVEY SET 60D NAIL	
SURVEY CUT X	
UTIL MH	
WATER METER	
WATER VALVE	

AC	ASPHALT CONCRETE	DI	DRAINAGE INLET	MH	MANHOLE
AD	AREA DRAIN	DL	DAY LIGHT	SDMH	STORM DRAIN MANHOLE
AP	ANGLE POINT	EC/EOC	END OF CURVE/CONCRETE	SSCO	SANITARY SEWER CLEANOUT
BC	BUILDING CORNER	ELEC	ELECTRIC	TC	TOP OF CURB
	BEGIN CURVE	EOW	EDGE OF WALK	TFW	TOP OF FACE OF WALL
BS	BACK SITE	EP	EDGE OF PAVEMENT	TOP	TOP OF PIPE OR TOP
BSTEP	BOTTOM STEP	FEN/FNC	FENCE	TSTEP	TOP OF STEP
CB	CATCHBASIN	FL	FLOW LINE	UTIL	UTILITY
CL	CENTERLINE	G	GROUND	WM	WATER METER
CLMN	COLUMN	GB	GRADE BREAK	WTR	WATER
CO	CLEANOUT	GLIP	GUTTER LIP	WV	WATER VALVE
CONC/CNC	CONCRETE	IRR	IRRIGATION		

20 10 0 20 40 60
SCALE IN FEET

VICINITY MAP
NO SCALE



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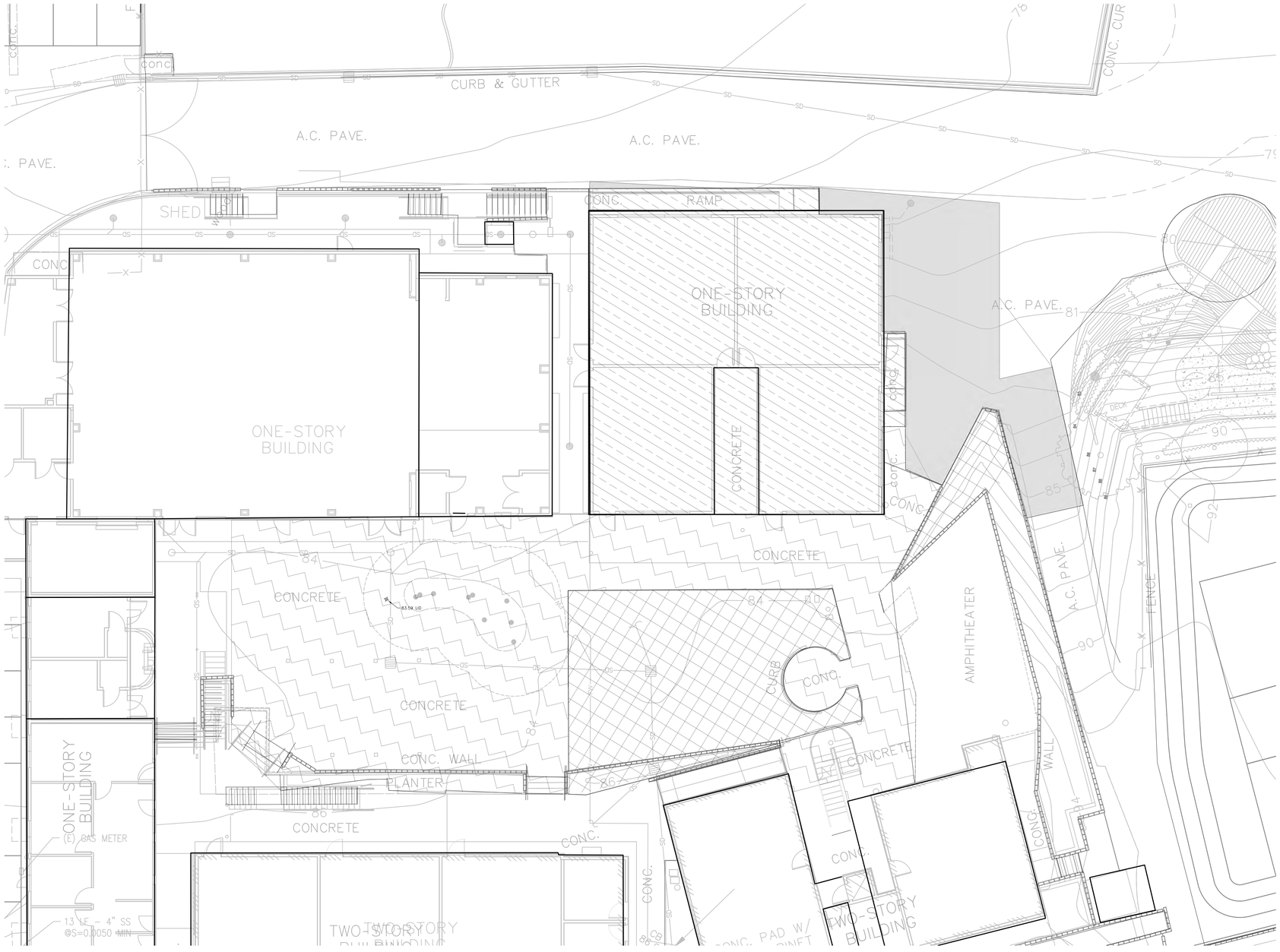
SHEET 1 OF 1
JOB NO. 18048



GENERAL NOTES

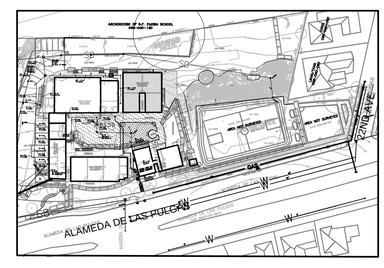
1. CONTRACTOR TO FIELD VERIFY DIMENSIONS , ELEVATIONS, AND LOCATION OF ALL EXISTING STRUCTURES, IMPROVEMENTS AND UNDERGROUND UTILITY LINES. KNOWN EXISTING UNDERGROUND UTILITIES ARE INDICATED IN THEIR APPROXIMATE LOCATION. CONTRACTOR TO NOTIFY THE ENGINEER IF ANY OF THE EXISTING STRUCTURES, IMPROVEMENTS, OR UNDERGROUND UTILITY LINES SHOWN ON THE DRAWINGS CONFLICT WITH THE PROPOSED CONSTRUCTION, AND WAIT FOR THE ENGINEER'S DECISION PRIOR TO BEGINNING OF THE WORK.
2. KNOWN EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR SHALL EXERCISE CAUTION WHILE EXCAVATING AND PERFORMING CONSTRUCTION IN THE VICINITY OF THE UNDERGROUND LINES.
3. ALL UTILITIES SHOWN ON PLAN ARE BASED ON RECORD MAPS. CONTRACTOR SHALL VERIFY UTILITIES PRIOR TO CONSTRUCTION. PROTECT IN-PLACE EXISTING UNLESS SHOWN OTHERWISE

LEGEND

- DEMOLITION BUILDING BY OTHERS
- SAWCUT & REMOVE CONCRETE, BASE, SUBSOIL. EXCAVATE AS NECESSARY TO MEET GRADES REQUIRED FOR DESIGN SUBGRADE
- REMOVE LANDSCAPE, BASE, SUBSOIL. EXCAVATE AS NECESSARY TO MEET GRADES REQUIRED FOR DESIGN SUBGRADE
- SAWCUT & REMOVE ASPHALT CONCRETE, BASE, SUBSOIL. EXCAVATE AS NECESSARY TO MEET GRADES REQUIRED FOR DESIGN SUBGRADE

10 5 0 10 20 30

SCALE IN FEET



KEY MAP
SCALE: 1" = 100'

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Phone (925) 685-4569 Fax (925) 685-4838

REGISTERED PROFESSIONAL ENGINEER
ROBERT E. BRICESTL
No. C 41828
CIVIL
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	KC
CHECKED	RB
JOB CAPTAIN	JAS

ISSUE

	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL

DRAWING TITLE

DEMOLITION PLAN

SCALE As indicated

C1.1

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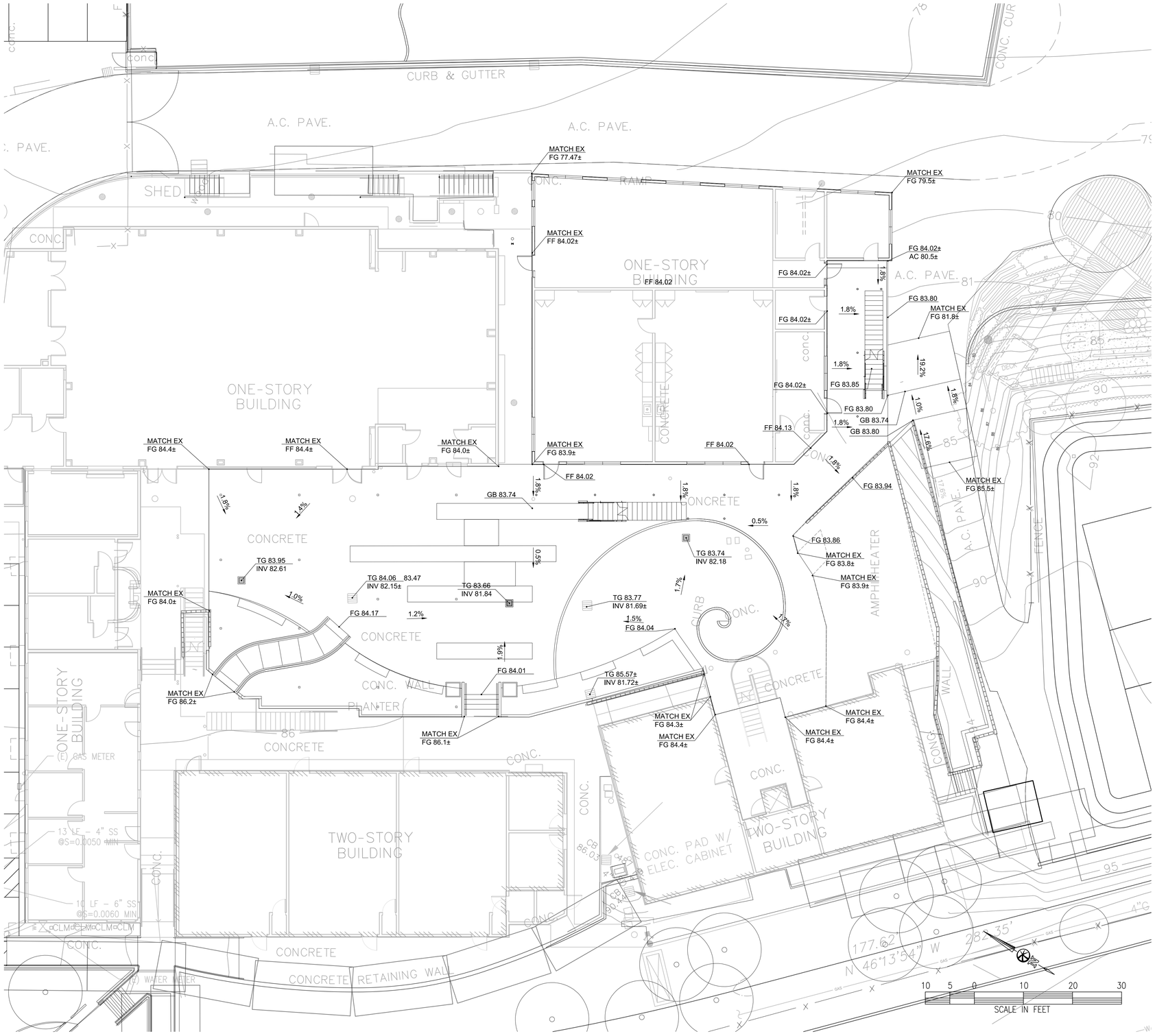

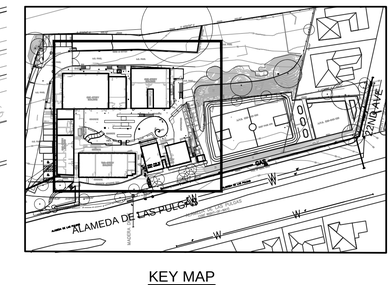

KEY MAP
SCALE: 1" = 100'

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ROBERT E. BRODSTL
No. C 41828
CIVIL
STATE OF CALIFORNIA

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	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL

DRAWING TITLE
GRADING PLAN

SCALE As indicated

C2.1

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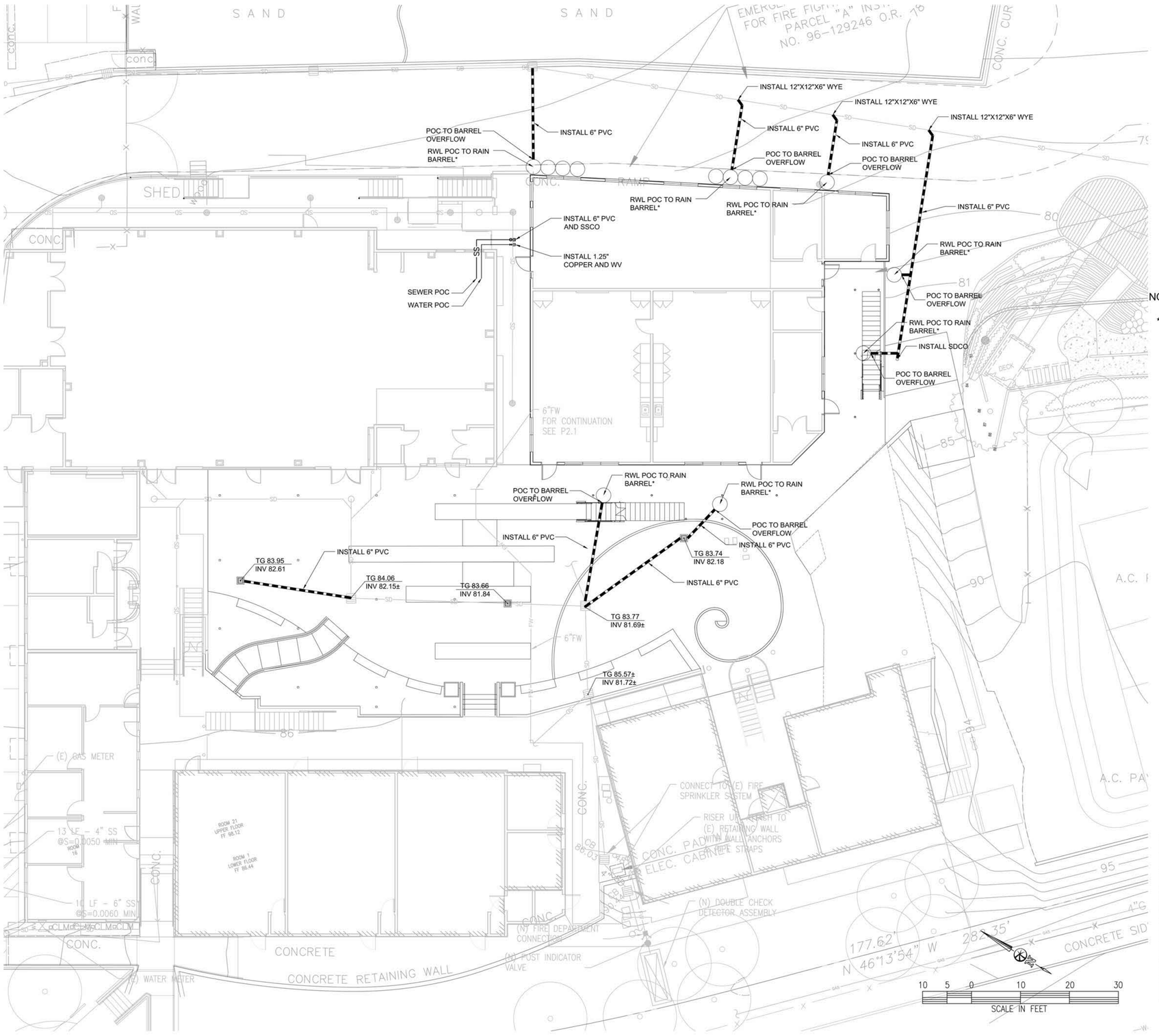
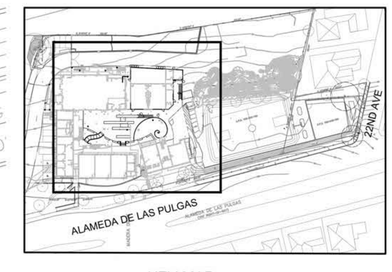


NOTE:

* EACH RAIN BARREL IS 55 GAL. RAIN CRITERIA (TYPE & MANUFACTURER TO BE DETERMINED)



KEY MAP
SCALE: 1" = 100'

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	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL
	FEB. 19, 2019	PLANNING RESUBMITTAL R3

DRAWING TITLE
UTILITY PLAN

SCALE As indicated

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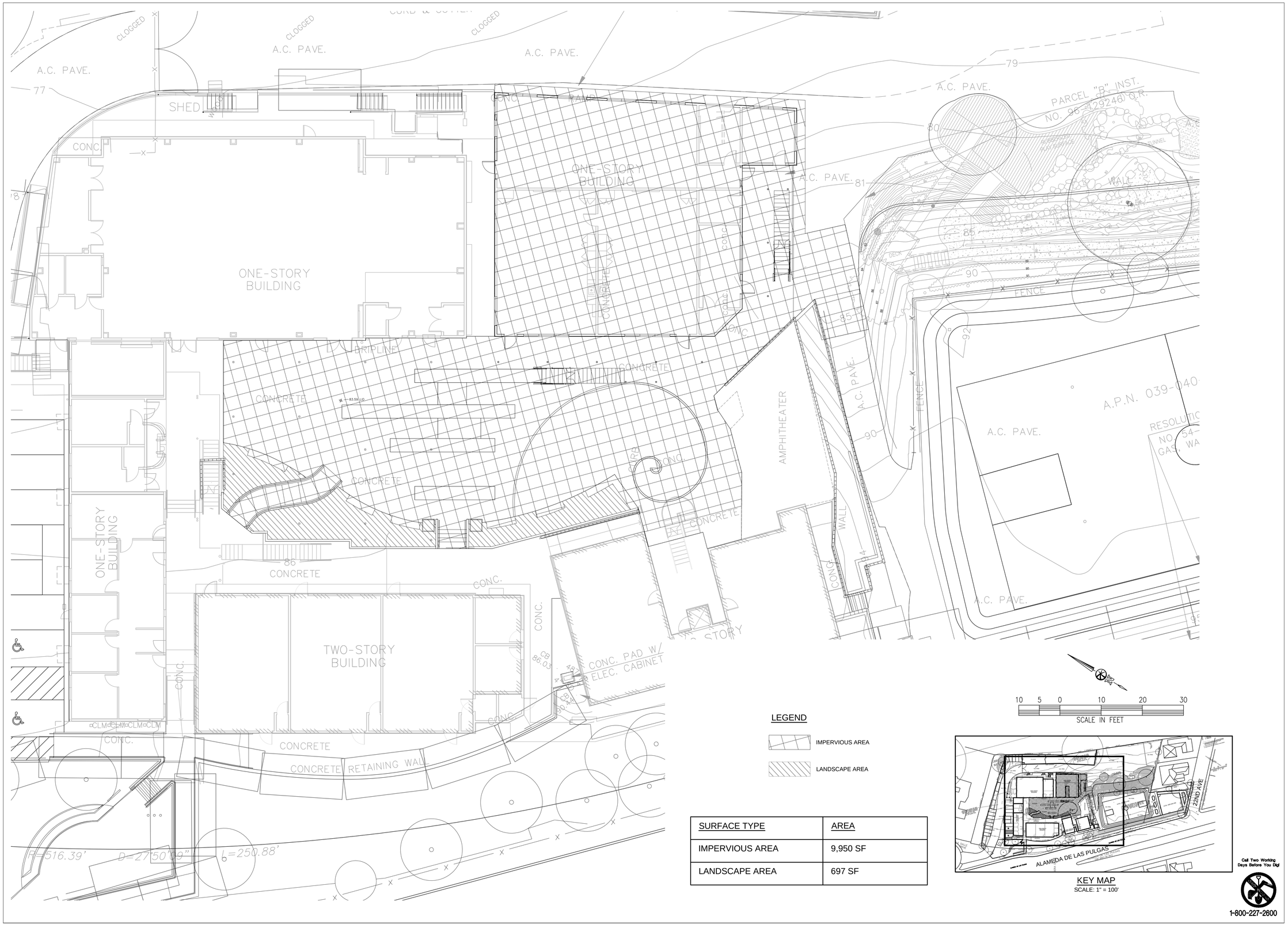

SURFACE TYPE	AREA
IMPERVIOUS AREA	9,950 SF
LANDSCAPE AREA	697 SF

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ROBERT E. BROESTL
No. C 41828
CIVIL
STATE OF CALIFORNIA

THE CAREY SCHOOL ADDITION & COURTYARD REMODEL

2103 ALAMEDA DE LAS PULGAS
SAN MATEO, CA 94403

JOB NO.	10232
DRAWN	KC
CHECKED	RB
JOB CAPTAIN	JAS

ISSUE

	DATE	DESCRIPTION
	NOV. 16, 2018	100% SD/ PLANNING SUBMITTAL
	JAN. 30, 2019	PLANNING RESUBMITTAL

DRAWING TITLE

C3 EXHIBIT

SCALE As indicated

C4.1

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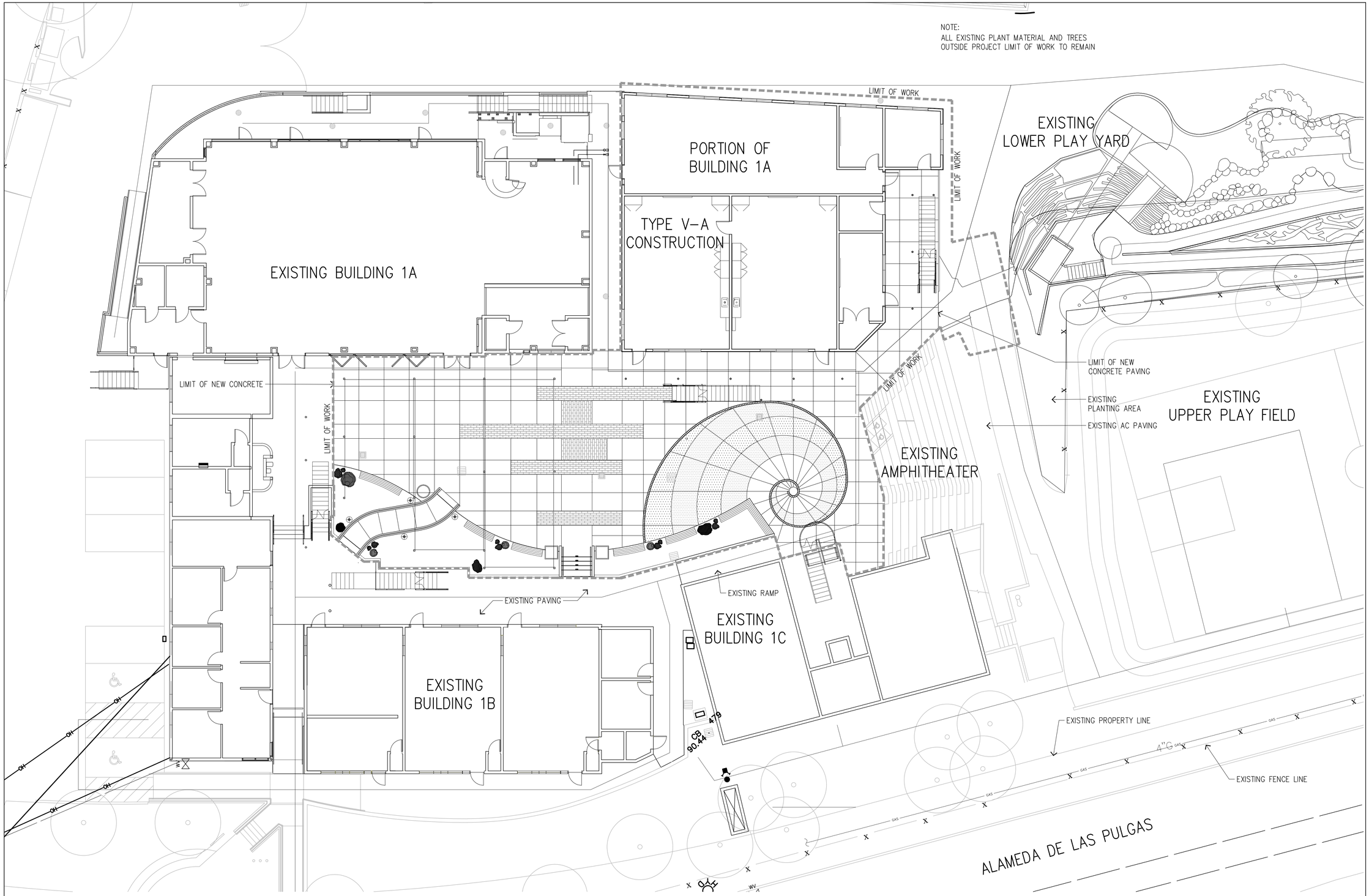
NOTE:
ALL EXISTING PLANT MATERIAL AND TREES
OUTSIDE PROJECT LIMIT OF WORK TO REMAIN



1 Overall Landscape Site Plan
1" = 10'-0"

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T 510 625 9800 • F 510 625 9801 • WWW.HKIT.COM

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Landscape Architecture
302 Fourth Street
Oakland, California, 94607
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www.kellermitchell.com

REGISTERED LANDSCAPE ARCHITECT
JACQUE KELLER
C-1927
Ren. Jan 31, 2019
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OVERALL LANDSCAPE SITE PLAN

SCALE 1" = 10'-0"

L00-01

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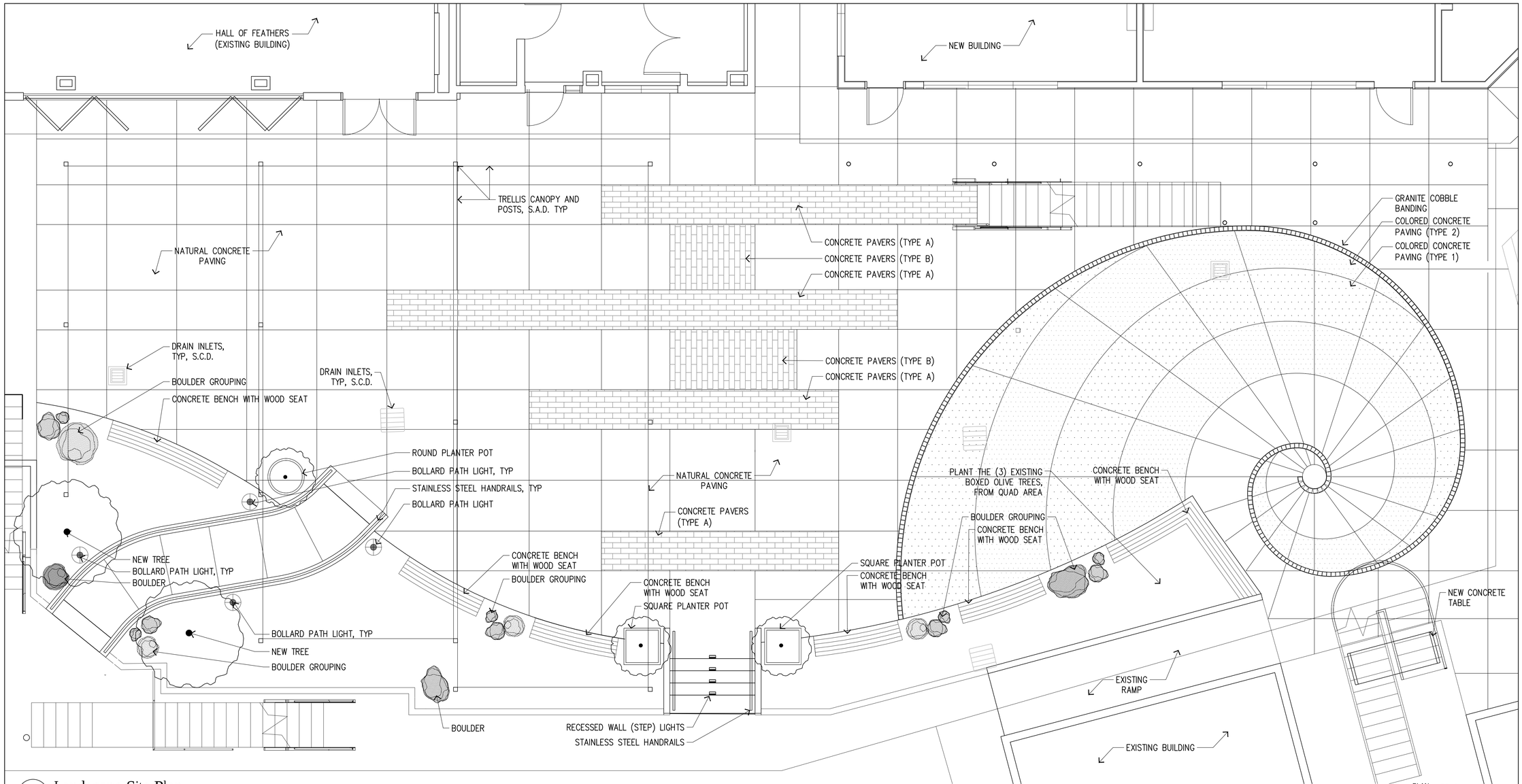

1 Landscape Site Plan

1/4" = 1'-0"

MATERIALS SCHEDULE

DESCRIPTION	FINISH	COLOR/MATERIAL	MANUFACTURER	CATALOG NO. / DIMENSIONS
PAVING				
COLORED CONCRETE PAVING (TYPE 1)	TOP CAST	PEBBLE	DAVISCOLORS.COM	COLOR: #641
COLORED CONCRETE PAVING (TYPE 1)	TOP CAST	COBBLESTONE	DAVISCOLORS.COM	COLOR: #860
CONCRETE PAVERS ON CONCRETE BASE	CRAFTSMAN'S ETCH	ADOBE TAUPE	QCP-CORP.COM CONTACT: NEIL ELENZWEIG 951.737.6240 NEIL@QCP-CORP.COM	FLATWORX QREC-918V 9"X 18 "X 2 1/4"
CONCRETE PAVERS ON CONCRETE BASE	CRAFTSMAN'S ETCH	FRENCH GRAY	QCP-CORP.COM CONTACT: NEIL ELENZWEIG 951.737.6240 NEIL@QCP-CORP.COM	FLATWORX QREC-918V 9"X 18 "X 2 1/4"
GRANITE COBBLE BANDING	NATURAL SPLIT	TANS, YELLOWS, GOLDS MATERIAL: GRANITE	LYNGSOGARDEN.COM	RATTAN YELLOW GRANITE SPLIT COBBLES 4" X 4" X 4"

DESCRIPTION	FINISH	COLOR/MATERIAL	MAUFACTURER	CATALOG NO. / DIMENSIONS
SITE FURNISHINGS				
CONCRETE BENCH WITH WOOD SEAT	CONCRETE: DAVIS COLOR PEBBLE SEAT: NATURAL	CONCRETE: DAVIS COLOR PEBBLE SEAT: IPE	CONCRETE BASE: PER CONTRACTOR SEAT: SITE-CRAFT.COM	SEAT MODEL: Y SERIES – YF, SIZES VARY PER PLAN MOUNT PER MANUFACTURER'S RECOMMENDATIONS
ROUND PLANTER POTS	T.B.D.	T.B.D./FRP FIBERGLASS	TOURNESOL SITEWORKS CONTACT: TROY NOTTINGHAM TNOTTINGHAM@TOURNESOLSITEWORKS.COM 800.542.2282	30" ROUND: WS-3000F-SK
SQUARE PLANTER POTS	T.B.D.	T.B.D./FRP FIBERGLASS	TOURNESOL SITEWORKS CONTACT: TROY NOTTINGHAM TNOTTINGHAM@TOURNESOLSITEWORKS.COM 800.542.2282	CUSTOM SIZE:36" SQ X 42" HT CAP-F
BOULDERS	NATURAL	T.B.D.	LYNGSOGARDEN.COM	BOULDER TYPE AND SIZE TO VARY
CONCRETE TABLE	WEATHERSTONE	W20 WHITE / CONCRETE	WAUSAUMADE.COM	MODEL: TF3200, 85" X 62" X 33"
LIGHTING				
BOLLARD PATH LIGHT	POWDERCOAT	T.B.D. CAST ALUMINUM	ERCO THRU 16500 JENNIFER LAVINS 510.645.2562	CASTOR BOLLARD LUMINAIRE, 4.5" DIA X 31.5" HT, EMBEDDED 33939.023, GRAPHIT M, LED 12W, 1650LM, 4000K, NEUTRAL WHITE, CONCRETE ANCHOR
RECESSED WALL (STEP) LIGHT	NATURAL	T.B.D. EXTRUDED ALUMINUM LED MODULE W/ STAINLESS STEEL FACE	WINONA THRU 16500 JENNIFER LAVINS 510.645.2562	RECESSED LED STEP LIGHT MODEL: LED-STEP03-6"-L-001/HO-ND120V-BSS-WL-STD
LINEAR BENCH LIGHTING	–		KELVIX THRU 16500 JENNIFER LAVINS 510.645.2562	LINEAR LED LIGHTING MODEL: PH-PERFORMANCE 300 (OUTDOOR)

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PROPOSED LANDSCAPE SITE PLAN

SCALE 1/4" = 1'-0"

L01-01

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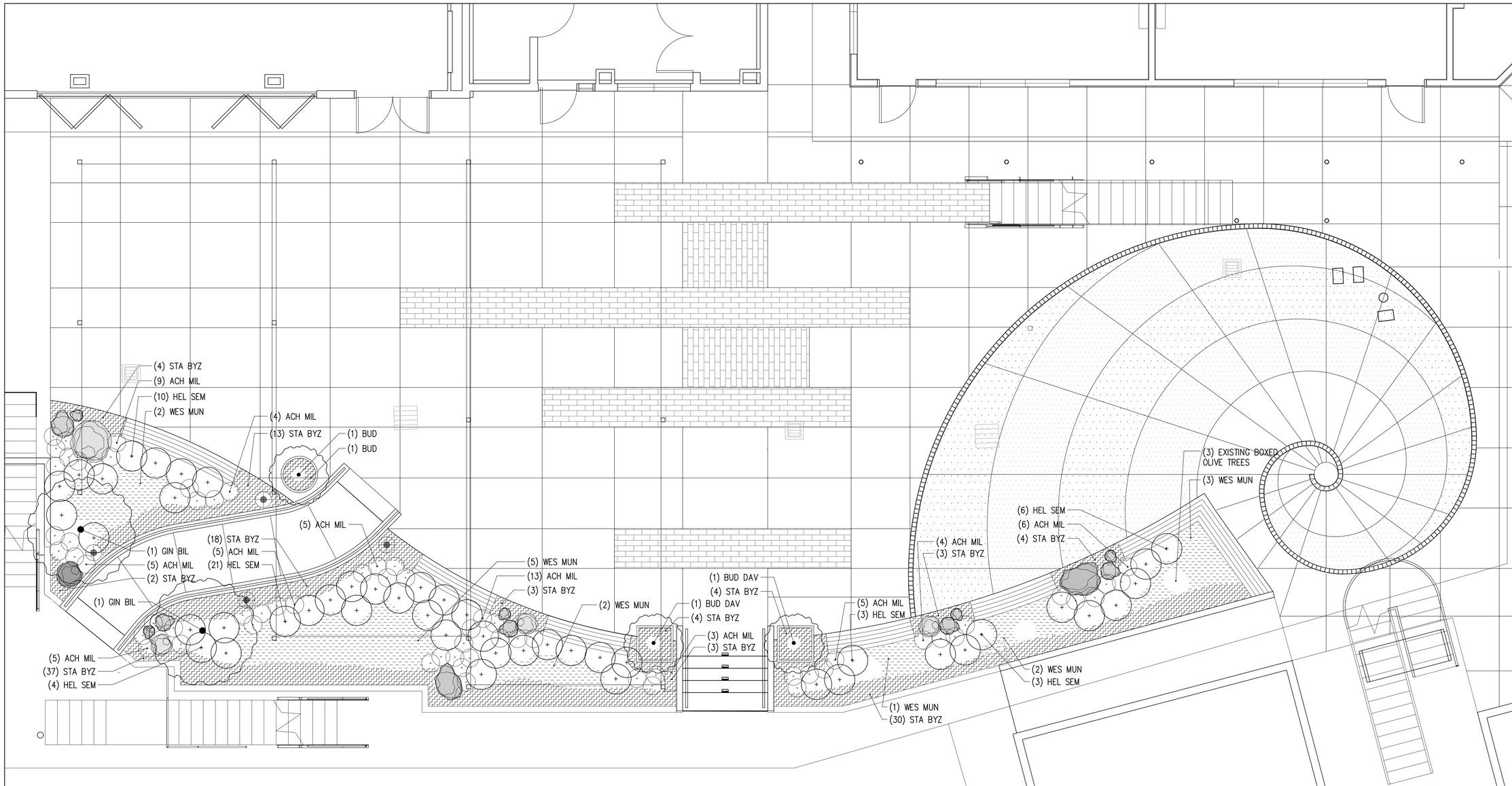

1 Planting Plan
1/4" = 1'-0"

0 4' 8' 12'

PLAN NORTH TRUE NORTH

GINKGO BILOBA
'PRINCETON SENTRY'

ACHILLEA MILLEFOLUM
'APPLE BLOSSOM' YARROW

BUDDLEJA NANHOENSIS 'MONUM'
DWARF BUTTERFLY BUSH

STACHYS BYZANTINA
'SILVER CARPET' LAMBS EARS

WESTRINGIA FRUTICOSA 'MUNDI'

HELECTOTRICHON SEMPERVIRONS
BLUE OAT GRASS

PLANTING LEGEND

SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	H20 REQ'S	CA NATIVE
PROPOSED TREES						
GIN BIL	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDEN HAIR TREE	24" BOX	PER PLAN	M	N
SHRUBS AND GROUNDCOVERS						
ACH MIL	ACHILLEA MILLEFOLIUM 'APPLE BLOSSOM'	APPLE BLOSSOM YARROW	1 GAL	18" O.C.	L	Y
BUD DAV	BUDDLEJA DAVIDII NANHOENSIS 'MONUM'	PETITE PLUM DWARF BUTTERFLY BUSH	15 GAL	PER PLAN	M	N
HEL SEM	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	24" O.C.	L	Y
WES MUN	WESTRINGIA 'MUNDI'	MUNDI (GROUNDCOVER) WESTRINGIA	5 GAL	4' O.C.	L	N
STA BYZ	STACHYS BYZANTINA 'SILVER CARPET'	SILVER CARPET LAMBS EARS	1 GAL	18' O.C.	L	Y

IRRIGATION NOTES:

ALL PLANTING WILL BE IRRIGATED WITH AN AUTOMATICALLY CONTROLLED DRIP SYSTMEM IN ACCORDANCE WITH THE CITY OF SAN MATEO REQUIREMENTS. THE AUTOMATIC CONTROLLER WILL BE CONNETED TO AN EXTERIOR SOLAR SENSOR, AND THE SYSTEM WILL BE DESINGED TO USE 45% ETo.

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Pebble
641

COLORED CONCRETE PAVING
(TYPE 1)

Cobblestone
860

COLORED CONCRETE PAVING
(TYPE 1)

GRANITE COBBLE BANDING

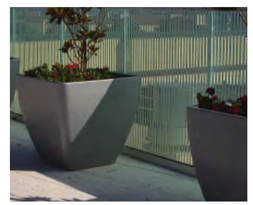
CONCRETE PAVER (TYPE A)
FRENCH GRAY

CONCRETE PAVER (TYPE B)
ADOBE TAUPE

TRELLIS SHADE FABRIC

CONCRETE BENCHES WITH WOOD SEATS

CLASS ROOM TILE IN FACE OF BENCHES



SQUARE PLANTER POT

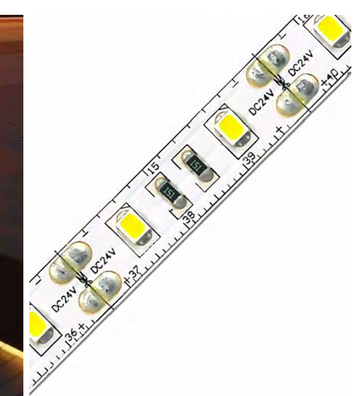
ROUND PLANTER POT

BOULDERS IN PLANTING

CONCRETE TABLE AT MAKERS SPACE AREA

BOLLARD PATH LIGHT

RECESSED WALL (STEP) LIGHT



LINEAR BENCH LIGHTING

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PROPOSED LANDSCAPE MATERIALS IMAGES

SCALE N/A

L03-01

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